



City of Fairfax, Virginia

City Council Regular Meeting

Agenda Item # 5a

City Council Meeting 5/26/2020

TO: Honorable Mayor and Members of City Council

FROM: Robert A. Stalzer, City Manager *RA Stalzer*

SUBJECT: Request of 9571 Fairfax Boulevard LLC for approval of six special exceptions and a major certificate of appropriateness for the redevelopment of 9571 Fairfax Boulevard, Tax Map 48-3-06-041.

ISSUE(S): Consideration by City Council of the applicant's request for six special exceptions and a major certificate of appropriateness to allow the development of the proposed commercial building and site improvements.

SUMMARY: The applicant proposes to develop the subject property with a one-story commercial building with lower level storage, a parking lot, landscape improvements, a sidewalk, and a storm water management facility. The proposal also includes realignment of the outer lane of Fairfax Circle and removal of a curb cut on the Circle.

FISCAL IMPACT: Net annual fiscal benefit to the City of between \$37,000 and \$47,000.

RECOMMENDATION: Approval of all requests with conditions.

ALTERNATIVE COURSE OF ACTION: City Council may choose to defer action on the requests or deny them.

RESPONSIBLE STAFF/ Jason Sutphin, Community Development Division Chief
Brooke Hardin, Director, Community Development & Planning

POC: Tommy Scibilia, Planner II

COORDINATION:

| | |
|------------------------------------|-------------------------|
| Community Development and Planning | Building and Fire Code |
| Human Services | Public Works |
| Fairfax Water | Police |
| City Attorney | Historic Resources |
| Real Estate | Commissioner of Revenue |
| Treasurer | |

ATTACHMENTS: Staff Report, Attachment 1-Staff Analysis, Attachment 2-Relevant Code Sections, Attachment 3-Summary of Zoning Districts, Attachment 4-Special Exception Plans, Attachment 5-Application, Attachment 6-Notifications, Attachment 7-Sample Motions, Attachment 8-Special Exception Resolutions



CITY OF FAIRFAX

Department of Community Development & Planning

SE-19-00769 and BAR-19-00789

City Council Regular Meeting

PUBLIC HEARING DATE

May 26, 2020

APPLICANT

9571 Fairfax Boulevard, LLC

OWNER

9571 Fairfax Boulevard, LLC

AGENT

Stuart Schooler

PARCEL DATA

Tax Map ID

48-3-06-041

Street Addresses

9571 Fairfax Boulevard

Zoning District

CG, Commercial General

Overlay District

Architectural Control Overlay
District

PROPOSAL SUMMARY

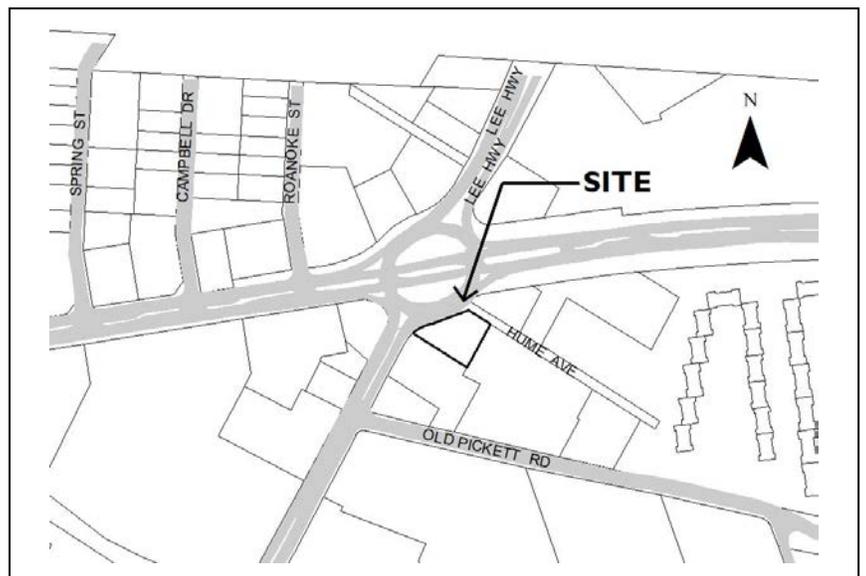
The applicant is proposing to construct a 4,000 square-foot one-story commercial building with 2,130 square feet of lower level storage space, as well as potential outdoor seating areas. Six special exceptions, as listed below, and a major certificate of appropriateness are required.

1. Modify the required minimum front/side (street) yard setback.
2. Modify the required minimum side (interior) yard setback.
3. Provide relief from the requirement to provide a sidewalk along a street.
4. Provide relief from meeting landscape strip and street tree requirements along streets.
5. Modify the parking lot landscape islands minimum size and spacing requirements.
6. Modify the minimum number of parking spaces required.

RECOMMENDATIONS

Staff recommends approval with conditions of the request for six special exceptions.

Staff recommends approval with conditions of the major certificate of appropriateness.



BACKGROUND INFORMATION

The subject site is considered a corner lot, and is located on the south side of Fairfax Circle (Fairfax Boulevard). The 0.47-acre site is bounded by Fairfax Boulevard along the circle to the north (side (street) yard), Hume Avenue to the northeast (front yard), McDonald’s to the southwest (side (interior) yard), and Stryker’s Square to the southeast (side (interior) yard). There are two existing curb cuts providing access from Fairfax Boulevard and a cross access or interparcel connection to McDonald’s to the southwest.

The site was used most recently as a fuel station, which ceased operations in 2007. Underground gasoline storage tanks were excavated and removed at around this time. The deed to the property contains a clause which requires remediation of soils if excavation is done onsite, and limits basement space uses to ventilated storage areas and similar uses. It also restricts certain uses on the site altogether, such as daycare facilities and ground-floor residential uses.

The fuel station canopy was demolished in April 2018. There are currently no structures remaining on the site but several trees, a board-on-board fence, and pavement remain. The property is relatively flat and at a level grade with Fairfax Boulevard, but contains a steep downward slope along Hume Avenue and along the southeast property edge which contains trees and undergrowth, with a total grade change of approximately 12 feet.

Information on adjacent properties is provided below:

| Direction | Existing Land Use | Zoning | Future Land Use |
|-----------|--------------------------------|--|--------------------------------------|
| North | Commercial-Retail, Auto-Dealer | CR, Commercial Retail and CG, Commercial General | Activity Center, Commercial Corridor |
| East | Commercial-Retail | CR, Commercial Retail | Activity Center |
| South | Commercial-Retail | CG, Commercial General | Activity Center |
| West | Commercial-Retail | CR, Commercial Retail | Activity Center, Commercial Corridor |

The subject site is currently zoned CG, Commercial General, while surrounding land uses are zoned both CG and CR, Commercial Retail. The future land use designation for the subject site in the Comprehensive Plan Future Land Use Map is Activity Center. Properties to the south and east of Fairfax Circle are also designated Activity Center, as these properties are located within the Fairfax Circle Activity Center. Properties to the north and west of the Circle are designated as Commercial Corridor. The Comprehensive Plan calls for a mix of uses within the Activity Centers, including dining, retail, and multifamily residential. See further discussion in Attachment 1.

The applicant appeared before the Board of Architectural Review (BAR) and City Council in 2018 with a similar proposal for a 4,000 square-foot one-story commercial building with a lower level for loading and storage and associated site improvements. On July 18, 2018 the BAR recommended approval of the major certificate of appropriateness. On November 13, 2018 City Council denied the request of the applicant for six special exceptions and a major certificate of appropriateness.

Commentary generally focused around concerns about vehicular access and safety, as well as a lack of vision for this part of the City.

On July 2, 2019, the applicant appeared before City Council for a work session on the current proposal. The following changes had been made from the denied 2018 proposal:

- The ground floor of the commercial building had been reduced from 4,000 to 3,500 square feet. The lower level was reduced as well.
- The setback from Hume Avenue had been increased from 10 feet to 20 feet.
- The interparcel connection to the McDonald's site had been changed from two-way traffic to one-way traffic for exiting the site.

Council repeated their concerns from the year before that vehicular access to the sight could present safety issues.

The BAR reviewed the architecture and landscaping of the current proposal on November 20, 2019 and recommended approval of the major certificate of appropriateness with conditions, which can be found below. The architectural submission remained largely unchanged since the year prior, when the BAR also recommended approval of the certificate.

Below are recorded land use actions on the property:

- March 11, 1980: City Council approved the request of the Texas Company to rezone the property from C-2 Commercial to C-3 Commercial.
- May 14, 1980: The Board of Zoning Appeals granted a variance to allow a lot area less than the minimum lot area required in the C-3 zoning district.
- 1980: Site plan was approved. Existing Texaco service station was demolished to develop a new service station with related retail, parking, landscaping and underground tanks.
- April, 2018: Building permit application to demolish building and gas pump canopy was approved.
- July 18, 2018: BAR recommended approval of the major certificate of appropriateness for a new commercial building and site improvements.
- November 13, 2018: City Council denied request for 6 special exceptions and a major certificate of appropriateness for a new commercial building and site improvements.
- July 2, 2019: City Council work session on the current proposal.
- November 20, 2019: BAR recommended approval of the major certificate of appropriateness for the current proposal.

PROPOSAL

The applicant is proposing to construct a 4,000 square-foot one-story commercial building with up to 2,130 square feet of lower level storage and loading space, and potential outdoor seating areas on an outdoor deck and roof deck. All existing improvements on the site including trees, undergrowth, concrete curb, paved areas, shoebox lighting, and fencing would be removed. The lower level is not considered to be a basement, per the definition in the Zoning Ordinance (see definition in Attachment 2).

Changes from Work Session

To summarize, since the City Council work session on July 2, 2019, the applicant has made the following changes to the proposal:

- The ground floor of the building has been increased from 3,500 to 4,000 square feet, consistent with the 2018 proposal. The lower level has been expanded as well.
- The sidewalk along Fairfax Boulevard has been widened from five feet to 10 feet in width.
- The setback from Hume Avenue has been decreased from 20 feet to 10 feet, consistent with the 2018 proposal.
- The interparcel connection to the McDonald's site has been changed from one-way traffic for exiting the site, to two-way traffic, consistent with the 2018 proposal.
- Improvements are proposed to the nearby traffic divider in the circle. The divider would be widened to both guide traffic safely onto the circle from Old Lee Highway, and to prevent cut-across traffic to the entrance to the property.
- The splitter island at the entrance of the property has also been widened and the ingress driveway to the property has been shifted to the west to prevent cut-across traffic from the Circle.

See below the 2018 proposal, 2019 work session proposal, and the current proposal for comparative purposes.

Vehicular Access

One of the two existing curb cuts on the circle closest to Hume Avenue would be closed off with new curbing. The new curbing would narrow and realign the outermost traffic lane on the circle to a width consistent with the other vehicle travel lanes. The new site entrance would be located in roughly the location of the current entrance, but it would be widened to the north and a wide traffic divider would be used to separate entering and exiting vehicular traffic. The applicant is proposing improvements to the nearby traffic divider in the circle, to widen it slightly, in order to both guide traffic safely onto the circle from Old Lee Highway, and to prevent cut-across traffic to the entrance. The site would therefore be accessible either traveling northbound on Old Lee Highway, or from the neighboring McDonald's property. A turning movement exhibit has been included in Attachment 4 to demonstrate that the widened divider in the circle would not prevent large vehicles from entering or exiting the circle.

Sidewalks

A new 10-foot-wide sidewalk would be installed along the realigned curb with a five-foot-wide landscape strip. Crosswalks would be added across Hume Avenue to the neighboring gas station property, and across the widened vehicular entrance to the subject site.

Setbacks

The proposed building would have a 10-foot setback from the east property line adjacent to Hume Avenue (front yard), a local street that is approximately 450 feet long with an existing 30-foot right-of-way. The building would be 37 feet from the northwest property line adjacent to Fairfax Boulevard (side (street) yard), 69 feet from the southwest property line adjacent to McDonald's (side (interior) yard), and 2 feet at the closest point to the southeast property line adjacent to Stryker's Square (side (interior) yard).

Parking, Amenities, and Appurtenances

The southwest portion of the site would be a surface parking lot with 23 spaces, five landscape islands, and a fenced-in dumpster pad. Concrete walkways would line the northwest and southwest sides of the building. A bike rack with space for two bikes would be located on a small concrete pad along the walkways in front of the building. A stormwater management and BMP facility is proposed to be located within the landscaped yard between the building and Fairfax Boulevard. An electrical transformer, associated with the undergrounding of utilities onsite consistent with Section 4.11 of the Zoning Ordinance, would be located in the south corner of the site within a terminal landscape island and screened by shrubs. Site lighting would include pole-mounted shoebox fixtures on the periphery of the parking area. No street lights are proposed, although staff is recommending acorn fixtures be installed along Fairfax Boulevard (see below).

Landscaping

Five street trees and a row of shrubs would be planted on the inside edge of the Fairfax Boulevard sidewalk. Hume Avenue would be planted with two street trees, an understory tree, and two rows of shrubs. The five parking lot islands would each be planted with one canopy tree and a cluster of shrubs. If an outdoor seating deck is constructed, shrubs would be planted at its base facing Fairfax Boulevard and Hume Avenue. If the deck is not constructed, the space in front of this portion of the building would be planted with additional shrubs. See Attachment 4 for these two alternate conditions.

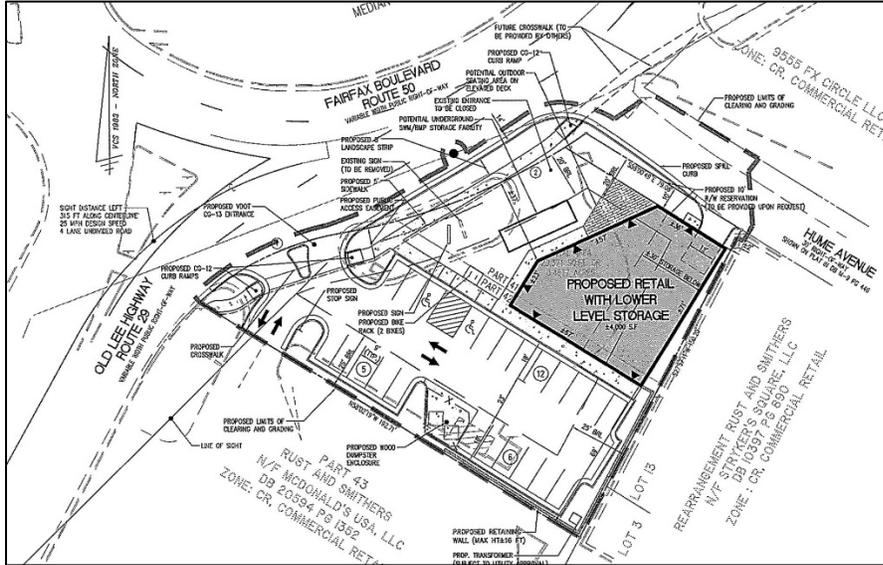
Architecture

The building's form would be broken into bays with metal reveal recesses. The roofline would be flat and have a varied height created by parapets. Storefront on the northwest and southwest façades would provide a high degree of transparency. Dark gray, metal, industrial-style lintels would be located above the storefront and matching cornices would make up the top of the parapets. Materials include brick in two shades of brown for the body of the building, tan cast concrete for the water table, and white split-face CMU for the base of the building and for the lower level, which would be exposed fully on the southeast side of the building facing Stryker Square, and would contain large recesses to add articulation. The optional deck would be faced in horizontal wood boards painted brown. If the future tenant has a rooftop seating deck, it would be screened from view by the parapets, and rectangular openings would penetrate the northeast elevation to provide outward views for customers. The dumpster pad would be screened by a wooden board-on-board fence painted brown to match the deck (if constructed). A retaining wall would surround the southeast and southwest sides of the surface parking area facing out toward the Stryker Square property, and would be faced with fluted concrete form liners. A metal picket railing would line the top of this wall. See architectural exhibits in Attachment 4.

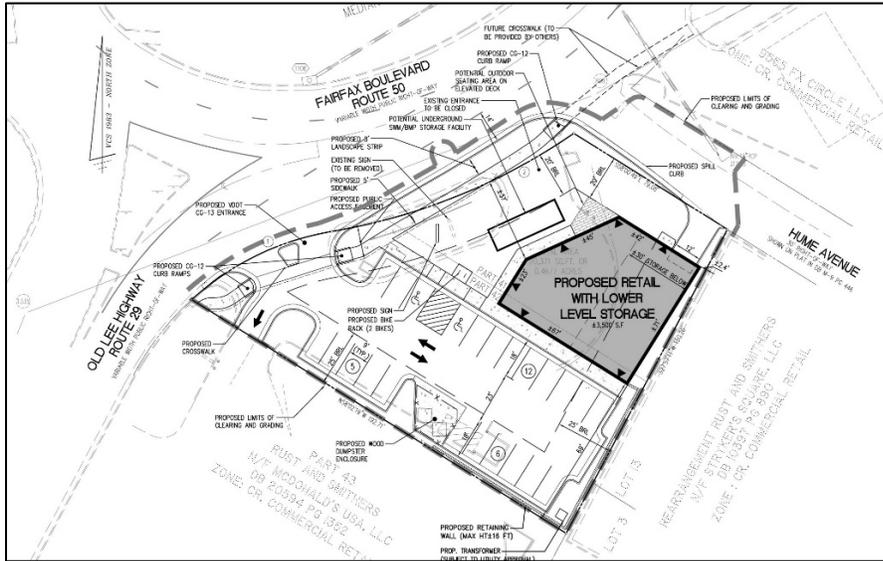
Neighboring Land Use Proposal

There is an active land use case to allow a drive-through use on the McDonald's property to the southwest of the subject site (this project is still under review and will be scheduled for a work session at a later date). As part of this proposal, transportation staff have made a comment that the sidewalk along Old Lee Highway should be 10 feet in width. This sidewalk would connect to the proposed sidewalk on the subject site at the western corner of the property.

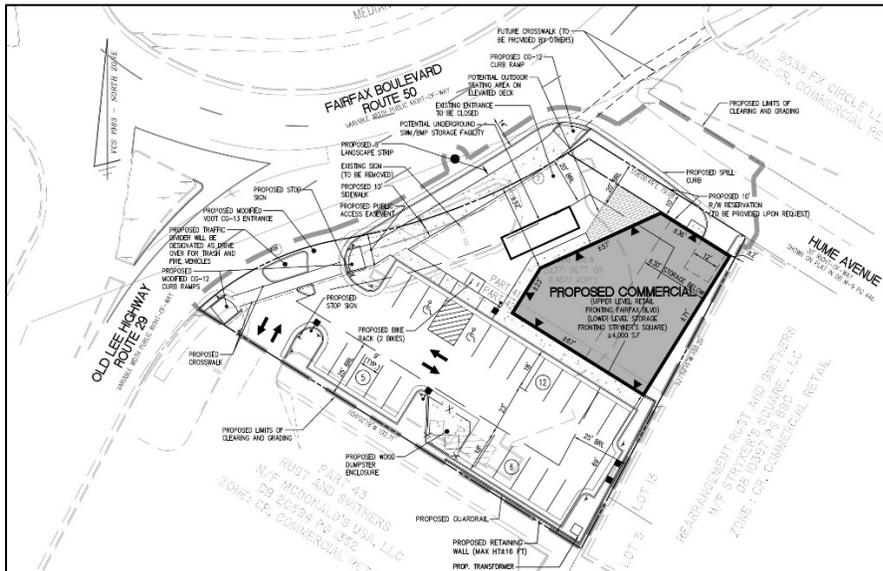
2018 Proposal



2019 Work Session



20202 Current Proposal



LAND USE REQUESTS

The applicant has requested six special exceptions as well as a major certificate of appropriateness for architecture, landscaping, and site amenities. Note that the Special Exception Plans package (Attachment 4) lists seven separate. Staff has opted to combine two of those requests, both related to parking islands, into a single request, #5 below. The special exceptions sought are as follows:

1. Modify the required minimum front/side (street) yard setback.
 - The building would be set back 10 feet from Hume Avenue where 20 feet is required (front yard).
 - Parking spaces would encroach into the required 25-foot setback along Fairfax Boulevard (side (street) yard). Parking is not allowed in required yards per §4.2.4.
2. Modify the required minimum side (interior) yard setback.
 - The building would be setback 2 feet from the southeast property line where 25 feet is required.
 - Parking spaces would encroach into the required 25-foot setbacks along the southwest property line. Parking is not allowed in required yards per §4.2.4.
3. Provide relief from the requirement to provide a sidewalk along a street.
 - No sidewalk is proposed along Hume Avenue, a local street, as required by §4.4.4.A.
4. Provide relief from meeting landscape strip and street tree requirements along streets.
 - A 10 foot landscape strip and street trees are required along both Hume Avenue and Fairfax Boulevard per §4.5.6.B, and trees must be located within 15 feet of the curb. The street trees proposed along Fairfax Boulevard would be further than 15 feet from the curb.
5. Modify the parking island minimum size and spacing requirements.
 - Four of the five landscape islands are smaller than the required 200 square feet. Three are narrower than the required 8 feet inside the curb per §4.5.7.D.
 - An interior landscaped parking lot island is required to be constructed for every 10 parking spaces per §4.5.7.D. One row of parking has 12 spaces with no interior landscaped island.
6. Modify the minimum number of parking spaces required.
 - General retail uses are required to provide 1 space for every 200 square feet of floor area per §4.2.3.E. The gross floor area, which includes the lower level storage space, is shown at 6,130 square feet, which would require 31 parking spaces where 23 are provided.

As discussed, the applicant's request for a certificate of appropriateness received a recommendation of approval from the BAR on November 20, 2019. City Council must make the final determination on the certificate, or defer final action to the BAR.

In addition to the land use requests and certificate of appropriateness, the applicant is requesting a waiver to a Public Facilities Manual (PFM) requirement that loading spaces not be located less than 12 feet from a property line. This is in relation to the driveway access to the lower level off of Hume Avenue.

RECOMMENDATIONS

Special Exceptions:

Staff recommends the City Council **approve** the request for six Special Exceptions pursuant to from Section 3.6 (yard/setback requirements), Section 4.4.4 (sidewalk requirement), Section 4.5.6 (street tree placement requirement), Section 4.5.7 (parking island requirements), and Section 4.2.3 (parking requirement), with the following conditions:

1. The applicant shall remove the existing streetlights along Fairfax Boulevard, and shall install new LED cutoff acorn street lights along the Fairfax Boulevard frontage of the Application Property. The specific number and location of new street lights shall be determined at the time of site plan in coordination with the Department of Public Works.
2. Development shall be in conformance with Special Exception Plans dated April 17, 2020.

Certificate of Appropriateness:

The BAR recommended approval of the major certificate of appropriateness with conditions. Staff recommends that City Council **approve** the request for a major certificate of appropriateness for architecture and landscaping with the conditions below. These conditions are those recommended by the BAR with one struck, as it was adequately addressed during subsequent land use review.

- ~~1. The applicant shall amend the landscape design to incorporate additional street trees along Fairfax Boulevard.~~
2. Downspouts shall be located in the building reveals and painted “Charcoal” by Sherwin Williams. All other building-mounted appurtenances shall be painted to match adjacent wall surfaces.
3. The fluted form liners of the retaining wall shall be painted a color to match the split-face CMU material of the lower level of the building, which shall be reviewed and approved by planning staff.
4. Construction planning shall meet the requirements needed to support Option 1 in the planning stages, Option 1 being a rooftop restaurant, should that option be requested in the future, and not part of the original request.
5. The applicant shall receive a minor certificate of appropriateness for any outdoor furniture not reviewed as part of this application.
6. The proposed modifications shall be in general conformance with the review materials received by staff and included in the staff report, as modified through the date of this meeting, except as further modified by the Board of Architectural Review, the Director of Community Development and Planning, Zoning, or the Building Official.

STAFF ANALYSIS

Staff analysis of the compliance of this proposal with the Comprehensive Plan, Zoning Ordinance and other City goals and policies is provided in Attachment 1.

ATTACHMENTS:

1. Analysis
2. Relevant Code Section
3. Zoning Districts Summary
4. Special Exception Plans
5. Application
6. Notifications
7. Sample Motions
8. Special Exception Resolutions

PREPARED BY:



Tommy Scibilia
Planner, Community Development & Planning

5/19/20

DATE

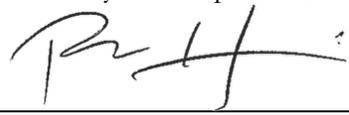
REVIEWED AND APPROVED:



Jason Surphin
Community Development Division Chief

5/19/20

DATE



Brooke Hardin
Director, Community Development and Planning

5/19/20

DATE

STAFF ANALYSIS
9571 Fairfax Boulevard
SE-19-00769, BAR-19-00789

Consistency with the Comprehensive Plan

Chapter 2: Land Use

Land Use Strategies

The subject site is designated as Activity Center on the Future Land Use Map of the Comprehensive Plan, shown below in Figure 1.

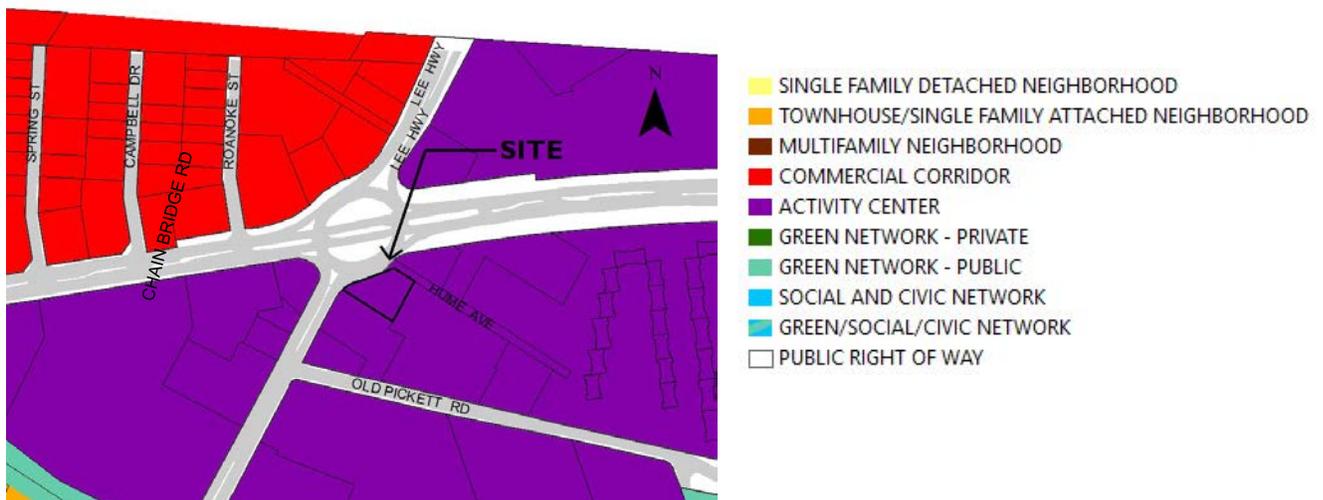


Figure 1: Comprehensive Plan Future Land Use Map

The Activity Center Place Type, identified in purple on the Future Land Use Map, applies to locations in the City where pedestrian-oriented, mixed-use development is strongly encouraged. Mixed-use development is defined as pedestrian-oriented development that allows multiple activities to take place by layering compatible land uses, public amenities, and active streets accommodating multimodal transportation, and community-serving commercial. Uses should be integrated as a mix of commercial uses, multifamily housing, and townhouses, either in the same building (i.e., vertical mixed-use) or as a combination of single-use buildings featuring a range of complementary uses within the Activity Center (i.e., horizontal mixed-use).

In general, new development in Activity Centers should support a connected street network as recommended in the Multimodal Transportation Chapter of the Comprehensive Plan; provide an improved streetscape and pedestrian connections to surrounding uses, including links to the existing pedestrian network; and include inviting public and/or private open spaces. Parking should be provided in structured or below-grade facilities where reasonable (32).

Retail uses may be provided on the ground floor of mixed-use buildings, as stand-alone buildings, or on upper floors of buildings where larger tenant floor area requirements would detract from an active presence on the first floor. Retail uses are preferred along Commercial Mains but may be provided at other locations within an Activity Center (33).

The proposed standalone commercial use is consistent with the guidance provided in the Comprehensive Plan for new development in Activity Centers. Staff finds this use to be well-suited to this challenging site, and one that will enhance the streetscape and overall connectivity at Fairfax Circle.

Commercial Corridors and Activity Centers

Guiding Principle: In 2035, Fairfax is a city with... flourishing centers of commercial and mixed-use activity that include an assortment of grocery stores, restaurants, cafes, entertainment venues, retail stores, offices, and housing (48).

Goal 2 – Promote redevelopment in the City’s Activity Centers.

The City will promote redevelopment in Activity Centers to strengthen economic vitality; provide retail, office, and residential opportunities for sustained demand; and reinforce the City’s regional appeal (51).

OUTCOME CCAC2.3 Old Town Fairfax, Northfax, and the other Activity Centers are well-designed and desirable places to live, work, shop, and dine.

ACTION CCAC2.3.1 Encourage structured parking and minimize surface parking, particularly adjacent to public rights-of-way.

ACTION CCAC2.3.2 Promote the orientation of buildings facing toward streets with architecture that engages street-level activity.

ACTION CCAC2.3.3 Promote active streetscapes with minimal building setbacks, pedestrian amenities, street furniture, on-street parking, landscaping, and other features.

ACTION CCAC2.3.4 Support land planning that balances connectivity for pedestrians, bicyclists, and motorists.

ACTION CCAC2.3.5 Prepare individual Small Area Plans, as defined in Section 15.2- 2303.4 of the Code of Virginia, for each of the Activity Centers that clearly demonstrate the desired mix of uses, residential density, building intensity, design aesthetic, specific street locations and multimodal connections, infrastructure improvements, parking, and open space (52).

Staff finds the proposed development to be well-designed and uniquely suited to this challenging corner lot. Previous discussions at the work session regarding the size of the site, as well as deed restrictions on excavation have made it evident that structured parking onsite is not feasible. Pedestrian amenities are provided through the wide and well-landscaped sidewalk along Fairfax Boulevard. Though the building would be set back from the road, the potential for outdoor dining would help engage the street front. Bicycle parking facilities have been provided. There is currently no small area plan for the Fairfax Circle Activity Center, although the City plans to pursue this in the coming years. Absent a detailed plan for this Activity Center, staff finds the proposed use and design of this site to be appropriate.

Community Design and Historic Preservation

Goal 1 – Require high-quality, sustainable design.

OUTCOME CDHP1.2: Attractive buildings, inviting public spaces, and welcoming gateways that contribute to our economic vitality and unique character (64).

Staff finds that the proposed architecture of the project utilizes high-quality materials and design features appropriate for use in the Fairfax Circle Activity Center. The BAR has recommended approval of the major certificate of appropriateness with conditions, which can be found in the sample motions (Attachment 7), and staff concurs.

Chapter 3: Multimodal Transportation

Goal 1 – Connect with the region.

OUTCOME MM1.1: Corridors for regional travel and better connections to regional networks and destinations are enhanced and improved.

ACTION MM1.1.3 Increase connectivity to the existing Vienna/Fairfax-GMU Metrorail station including:

1.1.3.1 Improve pedestrian connections from the Fairfax Circle area to the Metro station area.

1.1.3.2 Improve bicycle facility connections and crossings across Fairfax Boulevard from the City to the Metro station (76).

Goal 2 – Provide viable and attractive mobility choices.

OUTCOME MM2.1: Pedestrian safety is improved.

ACTION MM2.1.1 Fill critical gaps in the pedestrian network. Develop and act on a prioritized list of sidewalk improvements in the commercial areas and provide sidewalks on at least one side of every residential street in neighborhoods that are in agreement.

ACTION MM2.1.2 Ensure the pedestrian network is accessible to all and meets the requirements of the Americans with Disabilities Act (ADA).

ACTION MM2.1.4 Improve pedestrian crosswalks. Crosswalks should be provided across all legs of all intersections.

ACTION MM2.1.5 Expand the sidewalk network. Sidewalks should be provided with any significant street maintenance, rehabilitation, or reconstruction project and may be constructed independent of a street project.

ACTION MM2.1.6 Increase pedestrian connectivity to the existing Vienna/Fairfax-GMU Metro station, such as through the Fairfax Circle area (78).

OUTCOME MM2.5: Vehicular travel and facilities are effectively managed and maintained.

ACTION MM2.5.3 Ensure the safety of City streets by incorporating traffic calming measures as needed (80).

Goal 3 – Integrate transportation with land use

OUTCOME MM3.1: On- and off-street parking and curbside uses are effectively managed.

ACTION MM3.1.1 Effectively locate, design, and manage parking facilities to provide context-appropriate parking availability and accessibility to the surrounding destinations.

OUTCOME MM3.2: Walkability to and within Activity Centers and between neighborhoods is increased.

ACTION MM3.2.1 Whenever possible, increase connections – particularly non-motorized connections – between neighborhoods, community facilities, and Activity Centers (84).

ACTION MM3.2.3 Increase the number, safety, and frequency of pedestrian crossings, including across major streets. Provide crosswalks at all approaches of all signalized intersections at minimum intervals of 500 feet within Activity Centers. An exception exists in the case where the implementation of a crosswalk would result in operational failure of the corridor.

ACTION MM3.2.4 Improve the overall pedestrian environment, including pedestrian crossings, street trees, and furnishing zones; buffering sidewalk from vehicle travel lanes; improved pedestrian scale lighting; and active ground floor uses along primary street edges.

OUTCOME MM3.3: Streets are designed to accommodate context and function.

ACTION MM3.3.1 Develop and adopt a “Link + Place” street typology to guide street design and management for public and private streets (85).

Staff finds the enhanced and widened sidewalk system along Fairfax Boulevard, including two new crosswalks, to be consistent with the above sections of the Multimodal Goals of the City. The proposal includes two bike racks visible from the right-of-way which may encourage biking to and within the Fairfax Circle Activity Center.

While not traffic calming devices per se, the improvements proposed to the site entrance, the traffic divider in the circle, new lane markings, and the realigned outer travel lane will enhance safety for drivers, bikers, and pedestrians. Public Works staff have reviewed and support the configuration of the entrance, the interparcel connection to the McDonald’s site, and the safety modifications proposed for Fairfax Boulevard.

The “Link + Place” classification of Fairfax Boulevard is Commercial Main, which calls for a five-foot landscape strip and 10-foot shared use path, which the proposal includes. Hume Avenue is classified as Limited Connection Residential. Though this street does not currently serve any residential uses, it functions in a similar way due to its limited use. These street types call for a five-foot landscape strip and a five-foot sidewalk. The proposal does not contain a sidewalk along Hume Avenue and the applicant is requesting a special exception from this requirement. Staff supports this request because there are currently no direct pedestrian destinations off of the circle onto Hume Avenue. The applicant has denoted a 10-foot right-of-way reservation along Hume Avenue, which could at a future date accommodate both the five-foot landscape strip and sidewalk without having to remove the proposed street trees. It is noted that due to the steep slope along Hume Avenue, about 15%, such a sidewalk would not be ADA accessible.

Chapter 5: Economic Vitality

Guiding Principle: In 2035, Fairfax is a city with... an economy that cultivates and promotes business success and entrepreneurial opportunities for large, small, and independent businesses and capitalizes on national, regional and intellectual partnerships (113).

Goal 1 – Increase the City’s ratio of commercial to residential real estate.

OUTCOME EV1.1: New development and redevelopment that maximize revenue generation from nonresidential buildings and uses.

ACTION EV1.1.1 Attract new commercial businesses while supporting and retaining existing businesses (117).

Goal 2 – Support diversification of the retail, service, and office sectors.

OUTCOME EV2.1: The retail and service sectors more effectively compete with other regional commercial sectors, resulting in increased desirability as a destination.

Goal 3 – Transform the Commercial Corridors and Activity Centers

OUTCOME EV3.1: Redevelopment projects in the Commercial Corridors and Activity Centers create destinations that attract tenants, customers, and residents (120).

Staff believes that the proposed use of the site for nonresidential commercial is consistent with the City’s desire to increase the proportion of commercial uses to residential uses in the City, especially within Activity Centers. Staff believes the proposed use of the site will be of economic benefit to the City, generating revenue, rather than remaining vacant and unused as it has been since 2007.

Chapter 6: Community Services

Guiding Principle: In 2035, Fairfax is a city with... safe, well-maintained infrastructure and use of advanced technology (143).

Infrastructure and Utilities

Goal 1 – Provide quality utility services and infrastructure systems.

OUTCOME IU1.4: Access to reliable energy and telecommunications infrastructure.

ACTION IU1.4.3 Work with utilities, developers, and state agencies to relocate aboveground utility lines underground, where feasible, with an emphasis on major corridors (144).

The proposal includes undergrounding of all above ground utilities currently onsite.

Conformance with the Zoning Ordinance

See Attachment 2 for relevant provisions of the Zoning Ordinance. Due to the small size, varying topography, and unique shape of this lot, the applicant has requested six special exceptions from the provisions of the Zoning Ordinance related to setbacks, sidewalks, street trees, parking islands, and parking spaces as outlined in the staff report.

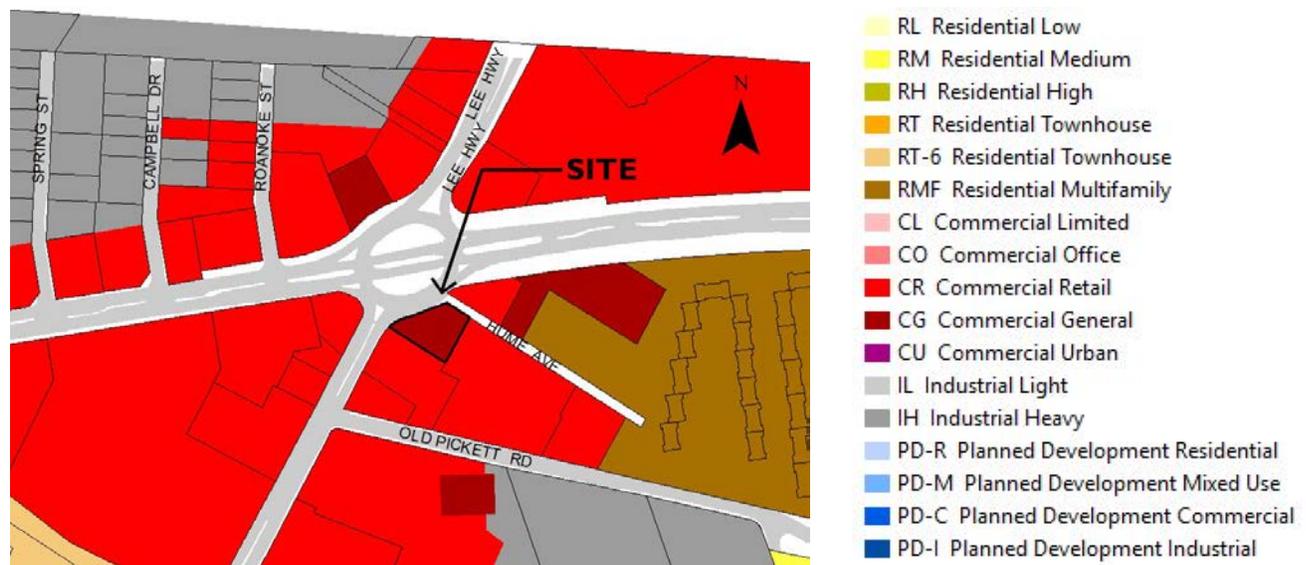


Figure 2: Zoning Map

Staff supports the requests for special exceptions from the setback requirements of the Zoning Ordinance, and has recommended approval with conditions to allow the reasonable use of this unique site, recognizing the difficulty of fitting a viable commercial use into the by-right building envelope.

Discussion on sidewalks can be found in the discussion above in the Multimodal Transportation section of the Comprehensive Plan analysis.

Staff supports the request for an exception to the street trees requirement because, although the street trees are not proposed to be within 15 feet of the curb along Fairfax Boulevard as required per Section 4.5.6.B, the required number of street trees is met. Staff believes that including a five-foot landscape strip between the sidewalk and curb, in addition to the recommendations of the Multimodal Plan, is prudent due to the high level of vehicular traffic within the circle. The applicant has provided the recommended 10-foot sidewalk, and in order to plant the large canopy trees

proposed without affecting the sidewalk with root growth, the trees must be spaced several feet away, resulting in the proposed setback that is greater than 15 feet.

The applicant is required to park for gross floor area, which is defined as, “the gross floor area within the building under consideration measured from the outer wall including hallways, stairs, closets, and thickness of walls, columns or other similar features” per Section 1.5.9 of the Zoning Ordinance. The gross floor area, in this case, includes both the ground floor use as well as the lower level storage and loading area. General retail uses are required to provide one parking space per 200 square feet of gross floor area per Section 4.2.3 of the Zoning Ordinance. Where 23 spaces are provided, 31 spaces are required. Staff supports the request for a parking reduction because the number of parking spaces provided meets the criteria if calculated for the ground floor use only (20 spaces), the portion of the building that would be accessible by guests. The limited site area does not accommodate for additional parking, and staff believes that the requested parking reduction is warranted to avoid the retail space from being diminished in order to comply with parking for the lower level storage and loading area.

In order to provide additional parking spaces, the applicant is requesting a special exception to allow landscape islands that are smaller than the 200 square feet and spaced more than 10 parking spaces apart, not meeting the requirements of Section 4.5.7.D of the Zoning Ordinance. Staff supports the request because all five parking islands contain a canopy tree, and this exceptions would allow room for additional parking on a small site.

Staff finds the proposal to meet the approval criteria for special exceptions per Section 6.17.7. Staff believes the requests are a result of the physical constraints of the property, that the development would have no adverse effects on neighboring properties, and that the proposal would be consistent with surrounding land uses and the Comprehensive Plan.

Public Facilities Manual

The City of Fairfax Public Facilities Manual requires that commercial driveway entrances be located at least 12 feet from property lines. The proposal includes a driveway on Hume Avenue to the lower level loading and storage area within 3.5 feet of the southeast property line.

Public works staff have reviewed the waiver request and concur with the design presented for the driveway entrance on Hume Avenue. Final design would be reviewed by the Director of Public works at the site plan review stage.

RELEVANT CODE SECTIONS
9571 Fairfax Boulevard
SE-19-00769 and BAR-19-00789

§1.5.9. Floor area

A. Floor area means the gross floor area within the building under consideration measured from the outer wall including hallways, stairs, closets, and thickness of walls, columns or other similar features.

§3.6. Dimensional standards

§3.6.2. Nonresidential districts

| NONRESIDENTIAL DISTRICTS DIMENSIONAL STANDARDS | CL | CO | CR | CU | CG | IL | IH | |
|--|--------|---------|----------|---------|--------|------|------|--|
| DENSITY (UNITS/ACRE), MAXIMUM | | | | | | | | |
| | | | RESERVED | | | | | |
| LOT AREA, MIN. (SQ. FT.) | -- | 20,000 | 20,000 | 30,000 | 22,000 | -- | -- | |
| REQUIRED YARDS (FT.) | | | | | | | | |
| Front and side (street) | | | | | | | | |
| Maximum | -- | -- | 93[1] | 15 | -- | -- | -- | |
| Minimum | 20[1] | 20[1] | 20[1] | 0 | 20 | 20 | 25 | |
| Side (interior), min. adjacent to a residential district | 25 | 25 | 25 | 25 | 25 | 50 | 50 | |
| Side (interior), min. not adjacent to a residential district | 12 | 0/10[2] | 0/10[2] | 0/10[2] | 25 | 0 | 0 | |
| Rear, min. adjacent to a residential district | 25 | 25 | 25 | 25 | 25 | 50 | 50 | |
| Rear, min. not adjacent to a residential district | 0 | 0 | 0 | 0 | 25 | 0 | 0 | |
| BUILD-TO LINE, MANDATORY (PERCENT) | -- | -- | -- | 50 | -- | -- | -- | |
| LOT WIDTH, MINIMUM (FT.) | -- | -- | -- | -- | 150 | -- | -- | |
| BULK PLANE REQUIREMENTS (DEGREES) | | | | | | | | |
| Front | -- | -- | -- | -- | -- | -- | -- | |
| Side (interior), adjacent to a residential district | -- | 45 | 45 | 45 | 45 | 45 | 45 | |
| Side (interior), not adjacent to a residential district | -- | -- | -- | -- | -- | 30 | 30 | |
| Rear, adjacent to a residential district | -- | 45 | 45 | 45 | 45 | 45 | 45 | |
| Rear, not adjacent to a residential district | -- | -- | -- | -- | -- | 30 | 30 | |
| HEIGHT, MAXIMUM (STORIES/FEET) | 3/35 | 5/60 | 5/60 | 5/60 | 5/60 | 3/35 | 6/60 | |
| BUILDING COVERAGE, MAXIMUM (%) | 25 | 50 | 60 | 80 | -- | 50 | 50 | |
| LOT COVERAGE, MAXIMUM | 50 | 85 | 85 | 100 | 90 | 90 | 90 | |
| FLOOR AREA, MAXIMUM (SQ. FT.) | 17,500 | -- | -- | -- | -- | -- | -- | |

NOTES:

[1] Special building line requirements apply where narrow right-of-way areas are found, see §1.5.12.F.1(a).

[2] No side (interior) yard is required, but if a building is not built to the lot line, a minimum 10 foot side (interior) yard shall be required.

§3.7.4. Architectural control overlay district

B. Certificate of appropriateness required

Except as specified in §3.7.4.C, below, all development in the architectural control overlay district shall be subject to the approval of a certificate of appropriateness in accordance with the provisions of §6.5.

§4.2.3.E. Parking ratio requirements Off-street parking spaces shall be provided for all uses listed below in at least the minimum amounts specified.

| USE TYPES/ USE GROUPS* | GENERAL REQUIREMENTS |
|--|--|
| Brew pubs | 1 space per 300 sq. ft. of floor area |
| Building supplies and lumber sales | 1 space per 300 sq. ft. of floor area |
| Catering or delivery services | 1 space per 200 sq. ft. of floor area |
| Cemeteries | Determined by zoning administrator per §4.2.10 |
| Convenience stores | 1 space per 200 sq. ft. of floor area |
| Fuel stations | 1 space per 200 sq. ft. of floor area |
| Funeral homes | 1 space per 50 square feet of floor space in funeral service rooms |
| Furniture, appliance or carpet/flooring stores | 1 space per 400 sq. ft. of floor area |
| Grocery stores | 1 space per 200 sq. ft. of floor area |
| Hotels; hotels, extended-stay; motels | 1 space per guest room, plus 1 space per 200 sq. ft. of conference, banquet, restaurants or food services floor area |
| Manufacturing, limited* | 1 space per 1,000 sq. ft. of floor area |
| Office, general* | 1 space per 300 sq. ft. of floor area |
| Office, medical* | 1 space per 200 sq. ft. of floor area |
| Parking, commercial or municipal | Determined by zoning administrator per §4.2.10 |
| Plant nurseries and greenhouses | 1 space per 200 sq. ft. of floor area |
| Private clubs | 1 space per 200 sq. ft. of floor area |
| Recreation, indoor* | 1 space per 250 sq. ft. of floor area |
| Recreation, outdoor* | Determined by zoning administrator per §4.2.10 |
| Restaurants or food service | 1 space per 200 sq. ft. of floor area; 1 space per 100 sq. ft. of floor area with dancing and entertainment; none for outdoor dining and service areas |
| Retail, general* | 1 space per 200 sq. ft. of floor area |

§4.4.4. Sidewalks

Sidewalks shall be placed within the right-of-way or public easement as specified below.

A. Where required

1. Unless otherwise specified below, sidewalks shall be required on both sides of all arterial, collector and local streets.

§4.5.6.B. Street trees

In all general districts except the RL, RM, RH and CU districts, a minimum ten foot wide landscaped strip shall be provided along all streets. Street trees shall be required along all streets at the rate of one canopy tree for every 40 linear feet and spaced a maximum of 50 feet part.

1. All street trees shall be planted no less than three feet or more than 15 feet from the back of the curb or edge of pavement.
2. No tree shall be planted within a safe sight triangle (§4.3.4) or closer than 10 feet from any fire hydrant.

§4.5.7. Parking lot landscaping

D. Interior

1. Interior islands

An interior landscaped island shall be provided for every ten spaces. Each island shall contain a minimum of 200 square feet with a minimum width of eight feet

inside the curb and include a minimum of one canopy tree; provided that, where an island includes a sidewalk, such islands shall contain a minimum of 400 square feet with a minimum of 15 feet inside the curb. Planting islands shall be evenly distributed throughout the parking lot; with no parking space located more than 50 feet from a planting island. Interior islands may be consolidated or intervals may be expanded in order to preserve existing trees, where approved by the zoning administrator.

2. Terminal islands

All rows of spaces shall terminate in a curbed landscaped island. Each island shall conform to the specifications described in §4.5.7.D.1, above.

§6.17.7. Approval criteria

A. In approving a special exception, decision-making bodies shall consider additional mitigation measures offered in support of the application, if any, and whether granting the special exception will:

1. Ensure the same general level of land use compatibility as the otherwise applicable standards;
2. Not materially and adversely affect adjacent land uses and the physical character of uses in the immediate vicinity of the proposed development because of inadequate transitioning, screening, setbacks and other land use considerations;
3. Be generally consistent with the purposes and intent of this chapter and the comprehensive plan; and
4. Be based on the physical constraints and land use specifics, rather than on economic hardship of the applicant.

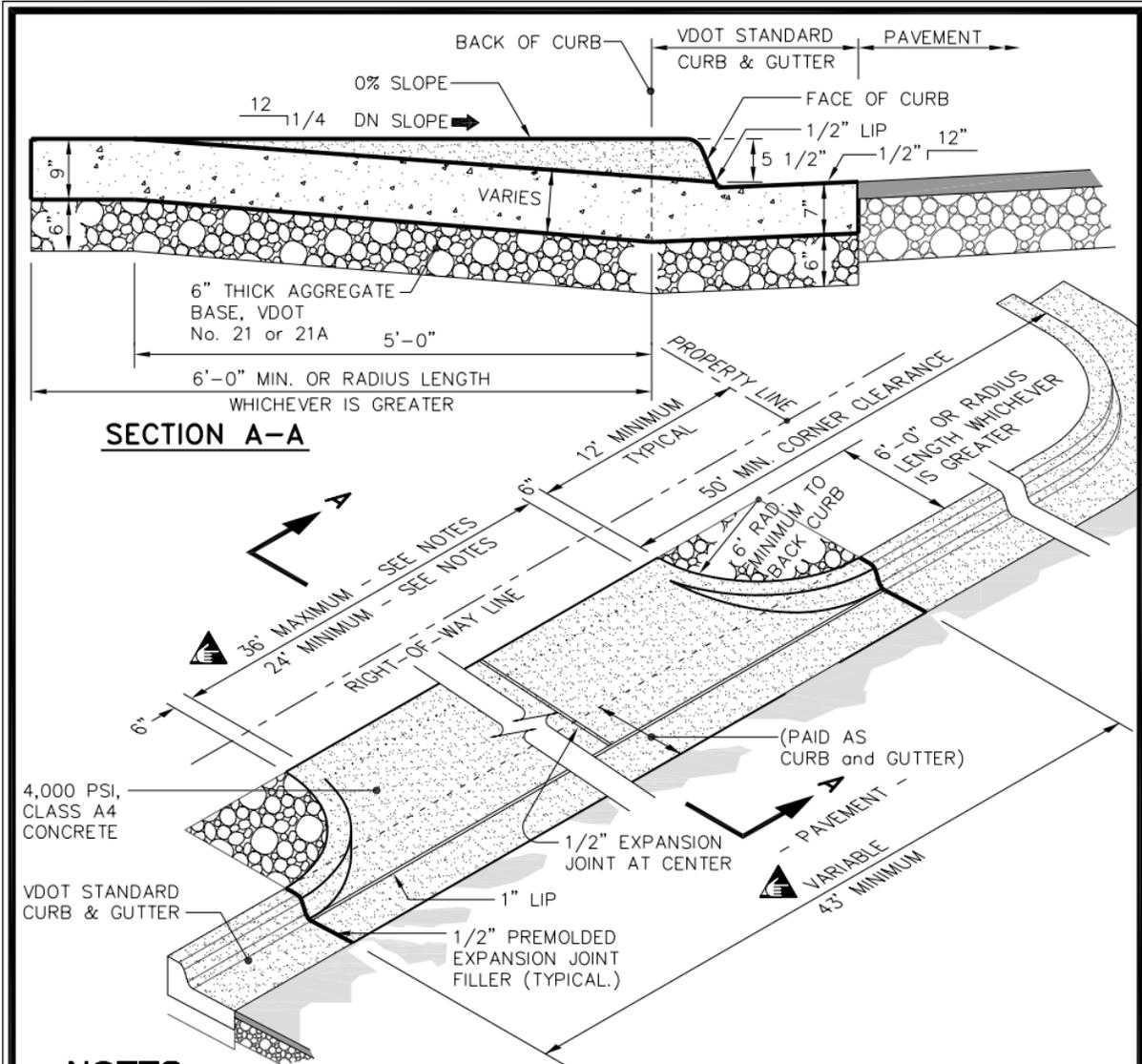
B. Decision-making bodies may consider any special efforts by the applicant to promote compatibility with neighboring properties, such as the installation of additional walls, fences, landscaping or screening, beyond that otherwise required, or other site design trade-offs.

§9.3.1 General Terms

BASEMENT: A story that is not a story above grade plane.

Public Facilities Manual

The following page contains the Public Facilities Manual typical detail sheet for a commercial driveway entrance, where the requirements for a 12-foot setback from the property line is shown. The applicant is requesting a waiver from this requirement, which must be approved by the Director of Public Works.



NOTES:

1. Use of gutterpan across entrance may be waived by approval of City Engineer.
2. Entrance width and radius shall be sized to accommodate turning radius of proposed trucks to/from site development.
3. VDOT standards may be substituted if approved by City Engineer.
4. Gravel driveways on collector and arterial streets shall be paved a minimum of 10 feet from edge of curb or to the right-of-way line, whichever is greater.
5. For one-way driveway, the width is 15' minimum and 24' maximum. entrance/exit shall be marked accordingly by sign or pavement arrow.
6. Entire entrance including gutter and apron shall be poured monolithically.
7. Width of curb & gutter shall match width of existing curb & gutter.



Department of Public Works
10455 Armstrong Street
Fairfax, VA 22030-3630

CITY of FAIRFAX
USE WITH THE FAIRFAX STANDARD SPECIFICATIONS ONLY

Voice (703) 246-6330
FAX (703) 591-5727
www.fairfaxva.gov

**COMMERCIAL
DRIVEWAY ENTRANCE**

SCALE:
Not To Scale

DETAIL #
2404.06

REVISION DATE:
July, 2005

SHEET #:
1 of 1



SUMMARY OF ZONING DISTRICTS AND OVERLAYS

GENERAL ZONING DISTRICTS: Unless within a planned development district, each property in the City belongs to one of the following zoning districts, which spells out permitted uses and types of development for all parcels within each district, as summarized below:

RL, RM & RH RESIDENTIAL DISTRICTS: Permits single-family detached housing and select types of supportive, complementary uses that create quiet and comfortable neighborhoods. Development must be consistent with the character of a residential neighborhood and fit within certain parameters, including:

- **RL RESIDENTIAL LOW:** 20,000 minimum lot size and 40' front setback from the street;
- **RM RESIDENTIAL MEDIUM:** 7,500 minimum lot size and 25' front setback from the street;
- **RH RESIDENTIAL HIGH:** 6,000 minimum lot size and 20' front setback from the street.

RT & RT-6 TOWNHOUSE DISTRICTS: Provides townhouses in both districts, as well as duplexes, single-family attached, and single-family detached housing in the RT district.

- **RT-6:** Limited to 6 units per acre;
- **RT:** Limited to 12 units per acre.

RMF MULTIFAMILY DISTRICT: Provides for multifamily housing as well as townhouses, duplexes, single-family attached, and single-family detached housing. Buildings may be no taller than 3 stories and 35' or 4 stories and 45' (where not adjacent to a single-family detached district) with a density limited to 20 units per acre. Permitted uses also include nursing homes, assisted living facilities, congregate living facilities and select directly related, complementary uses.

CL COMMERCIAL LIMITED DISTRICT: Provides for limited, low intensity office development as a transitional use between residential and commercial areas with buildings limited to 3 stories and 35' in height that may not exceed 17,500 sq. ft. in floor area.

CO COMMERCIAL OFFICE DISTRICT: Provides for offices for business, governmental and professional uses, and uses accessory or complementary thereto. Buildings may be up to 5 stories and 60'.

CR COMMERCIAL RETAIL DISTRICT: Provides for office and general business and retail establishments, and uses accessory or complementary thereto. Buildings may be up to 5 stories and 60'.

CU COMMERCIAL URBAN DISTRICT: Provides an urban, mixed use development option for appropriate parts of the downtown area and sites in the general vicinity of the three key Fairfax Boulevard intersections: Main Street, Chain Bridge Road, and Old Lee Highway, or as may be more precisely specified by a current or future adopted plan. Buildings may be up to 5 stories and 60'.

CG COMMERCIAL GENERAL DISTRICT: Provides areas for office, general retail, automobile-related uses, and uses accessory or complementary thereto. Buildings may be up to 5 stories and 60'.

IL INDUSTRIAL LIGHT DISTRICT: Provides areas for light industrial uses. Buildings may be up to 3 stories and 35'.

IH INDUSTRIAL HEAVY DISTRICT: Provides areas for general industrial uses. Building may be up to 6 stories and 60'.

PLANNED DEVELOPMENT DISTRICTS AND ZONING OVERLAYS: Some properties are included in planned development districts and/or are governed by regulations that exceed that of the underlying general zoning district through overlays and other development standards. These are summarized below:

PD-R, PD-M, PD-C & PD-I PLANNED DEVELOPMENT DISTRICTS: Provides for coordinated developments and communities with appropriate boundary transitional yards and recreation and open space. The districts provide additional flexibility not available in general zoning districts and allows for innovations and special features in site development that make the community better.

- **PD-R PLANNED DEVELOPMENT RESIDENTIAL:** Allows for permitted/special uses in the R districts;
- **PD-M PLANNED DEVELOPMENT MIXED USE:** Allows for permitted/special uses in the R and C districts;
- **PD-C PLANNED DEVELOPMENT COMMERCIAL:** Allows for permitted/special uses in the C districts;
- **PD-I PLANNED DEVELOPMENT INDUSTRIAL:** Allows for permitted/special uses in the CG, IL, and IH districts.

HISTORIC OVERLAY DISTRICTS: Provide additional protection to areas of historic interest in the City in order to ensure that development or building modifications do not alter or diminish the historic quality of the district:

- **OLD TOWN FAIRFAX HISTORIC DISTRICT:** Encourages a compatible mixture of residential, retail and office uses within the district.
- **FAIRFAX PUBLIC SCHOOL HISTORIC DISTRICT:** Includes the property containing the Fairfax Museum & Visitor Center; the district controls uses and structures built on the property.
- **BLenheim HISTORIC DISTRICT:** Includes the property at Historic Blenheim; the district preserves Blenheim mansion and controls uses and structures built on the property.

OLD TOWN FAIRFAX TRANSITION OVERLAY DISTRICT: Established to encourage a compatible mixture of residential, retail and office uses in areas close to the Old Town Fairfax Historic District. New development must complement the scale, siting and design of the Historic District.

ARCHITECTURAL CONTROL OVERLAY DISTRICT: Includes all land in the city which is located outside of an historic district and zoned and used for anything other than a single-family detached residence. This district seeks to encourage the construction of attractive buildings, to protect and promote the general welfare and to prevent deterioration of the appearance of the city, to make the city more attractive for the development of business and industry, and to protect land values.

RESOURCE PROTECTION AREA (RPA): Includes land within 100 feet of water bodies that have perennial flow, as well as other natural features such as wetlands and intermittent streams. The RPA seeks to protect these waters from significant degradation due to land disturbances.

RESOURCE MANAGEMENT AREA (RMA): Includes all land in the City that is not part of an RPA. Land disturbances in the RMA can have cause water quality degradation and diminish the functionality of RPA lands. Together, the RMA and RPA form the Chesapeake Bay Preservation Area, which encompasses all of the City.

100-YEAR FLOODPLAIN: Includes land subject to inundation by the “100-year flood” as on FEMA flood maps (a flood that has a 1% chance of occurring each year).

LEGEND

- CA UTILITY POLE CROSSARM
- CO CLEANOUT
- CP CONCRETE PATCH
- DB DEED BOOK
- DHF DRILL HOLE FOUND (PROPERTY CORNER)
- EB ELECTRICAL BOX
- EM ELECTRIC METER
- EO ELECTRIC OUTLET
- EP EDGE OF PAVEMENT
- ES ELECTRICAL STUB UP
- EVT ELECTRICAL VAULT
- FC FACE OF CURB (HEADER CURB)
- FNC FENCE
- HC RAMP FOR DISABLED
- IPF IRON PIPE FOUND (PROPERTY CORNER)
- IPS IRON PIN SET (PROPERTY CORNER)
- LP LIGHT POLE BASE
- LSB LANDSCAPING BOX
- LSW LANDSCAPING WALL
- MW MONITORING WELL
- PG PAGE
- PKS P.K. NAIL SET (PROPERTY CORNER)
- SMH SANITARY SEWER STRUCTURE
- SW SIDEWALK
- TR TRANSFORMER (ON POLE)
- TRLP TRAFFIC LIGHT POLE
- VLT UTILITY VAULT
- WDF WOOD FENCE
- WM WATER METER
- WV WATER VALVE
- BOLLARD
- FIRE HYDRANT
- △ DOORWAY/ENTRANCE
- UTILITY POLE
- ☆ LIGHT POLE
- ⬆ GROUND LIGHT
- X FENCE
- GUY WIRE
- OVERHEAD WIRES
- E UNDERGROUND ELECTRIC LINE
- W UNDERGROUND WATER LINE
- ===== CURB AND GUTTER
- +— SIGN
- UTILITY MANHOLE
- RESERVED FOR DISABLED

SANITARY SEWER AS-BUILT TABLE

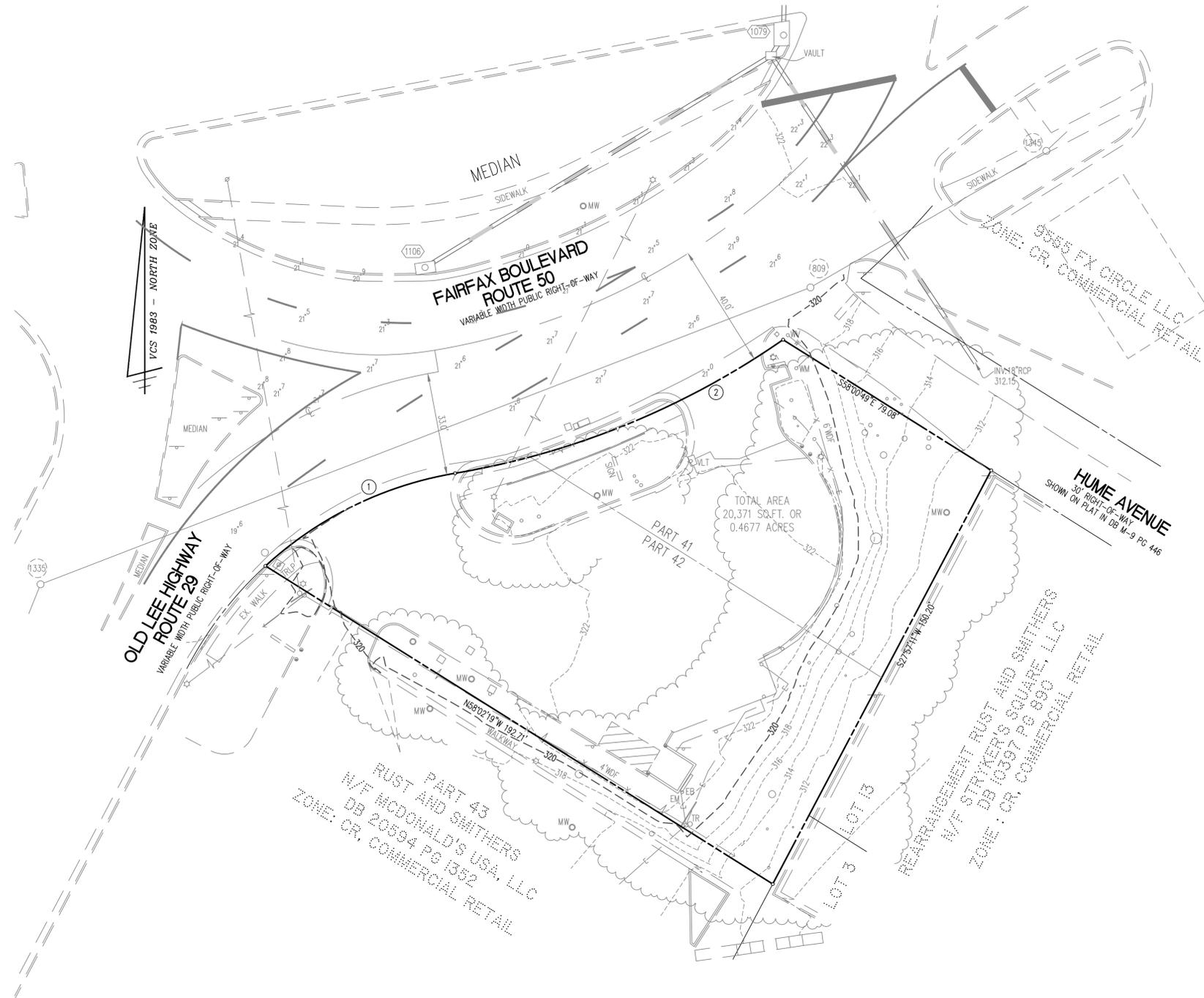
| | |
|-----------------------|--------|
| SMH 809 | |
| SMH TOP | 320.59 |
| 8" INV IN (SMH 1345) | 312.21 |
| 8" INV OUT (SMH 1335) | 311.9 |
| SMH 1335 | |
| SMH TOP | 317.79 |
| 8" INV IN (SMH 809) | 308.37 |
| 8" INV OUT (SOUTH) | 309.29 |

STORM SEWER AS-BUILT TABLE

| | |
|---------------------|--------|
| SD 1106 | |
| CURB INLET TOP | 321.18 |
| 15" RCP OUT (VAULT) | 316.98 |
| SD 1079 | |
| CURB INLET TOP | 323.77 |
| 15" RCP IN (NORTH) | 318.72 |
| 15" RCP OUT (VAULT) | 318.62 |

CURVE TABLE

| CURVE | RADIUS | LENGTH | DELTA | TANGENT | CHORD | CHORD BEARING |
|-------|---------|---------|-----------|---------|---------|---------------|
| 1 | 119.90' | 68.92' | 32°56'12" | 35.44' | 67.98' | N64°04'01"E |
| 2 | 261.53' | 114.96' | 25°11'10" | 58.43' | 114.04' | N67°56'32"E |



EXISTING CONDITIONS PLAN

SPECIAL EXCEPTION PLAT

9571 FAIRFAX BOULEVARD

CITY OF FAIRFAX, VIRGINIA

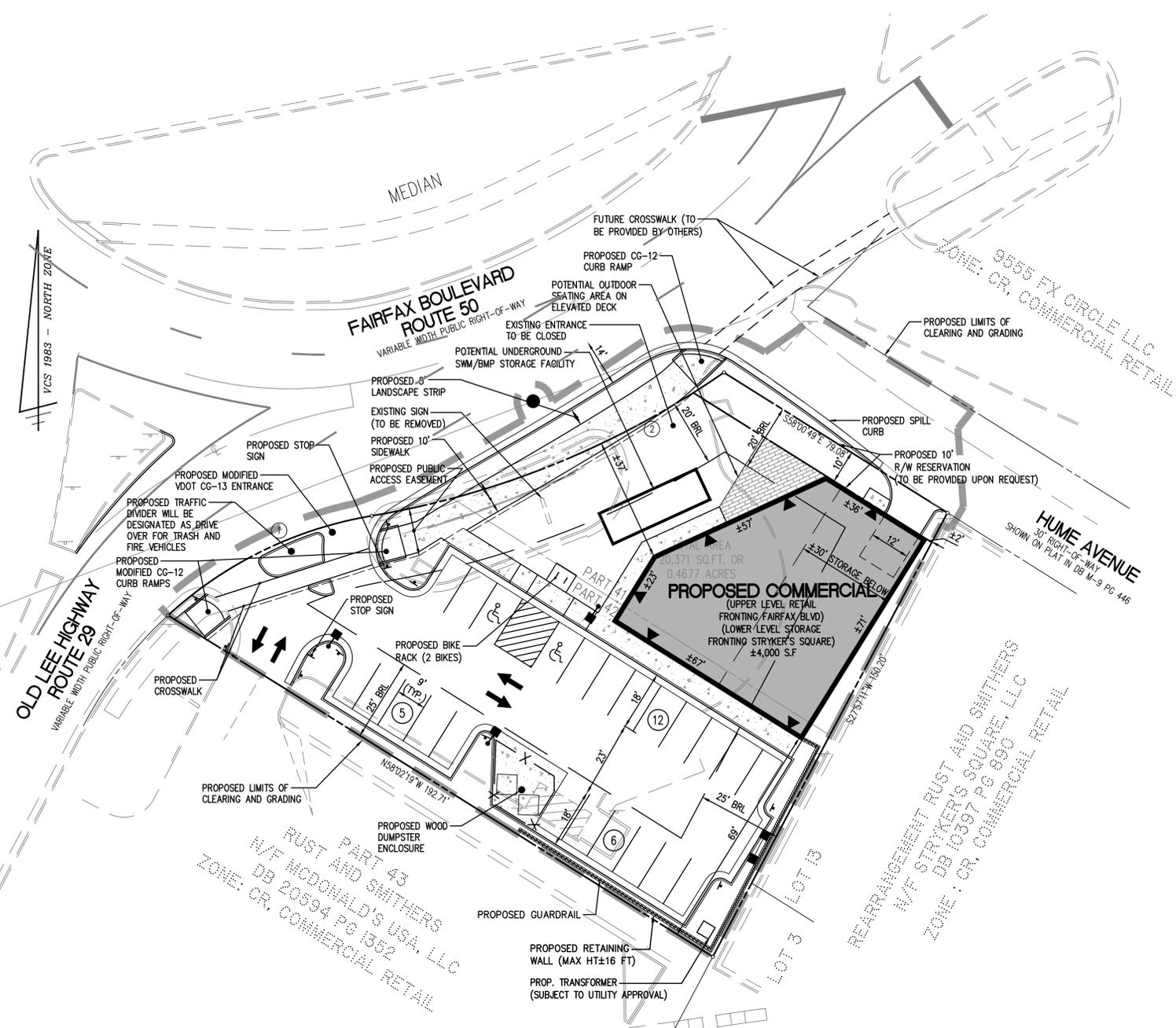
| NO. | DESCRIPTION | REVISION APPROVED BY | | DATE | |
|-----|-------------|----------------------|----|------|----|
| | | DATE | BY | DATE | BY |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |



WALTER L. PHILLIPS
 ENGINEERS • SURVEYORS • PLANNERS
 LANDSCAPE ARCHITECTS • ARBORISTS
 207 PARK AVENUE
 FALLS CHURCH, VIRGINIA 22046
 (703) 532-6163 Fax (703) 533-1301
 www.WLPINC.com

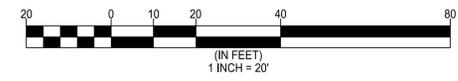
DATE: 10/29/2019; REV: 1/29/2020; 3/20/2020; 4/16/2020
 SCALE: 1" = 20'
 DRAWN: IMH
 CHECKED: AV

| PROPOSED | DESCRIPTION | EXISTING |
|----------|--------------------------------|----------|
| EP | EDGE OF PAVEMENT | EP |
| MH | MANHOLE | MH |
| WV | WATER VALVE | WV |
| WM | WATER METER | WM |
| GM | GAS METER | GM |
| TCB | TRAFFIC CONTROL BOX | TCB |
| LP | LIGHT POLE | LP |
| LP/S | LIGHT POLE WITH SIGNALS | LP/S |
| | CURB & GUTTER CG-2 | |
| | TRANSITION FROM CG-6 TO CG-6R | |
| | SANITARY SEWER | |
| | SANITARY LATERAL | |
| | CLEAN OUT | |
| | STORM SEWER | |
| | WATER MAIN | |
| | FIRE HYDRANT | |
| | PLUG | |
| | OVERHEAD WIRES | |
| | UTILITY POLE | |
| | UNDERGROUND ELECTRIC | |
| | TELEPHONE | |
| | GAS MAIN | |
| | ELECTRICAL | |
| | TRANSFORMER | |
| | HANDICAP RAMP (CG-12) | |
| | GUARDRAIL | |
| | FENCE | |
| | TRAFFIC FLOW | |
| | LIGHT | |
| | DOOR | |
| | TREES | |
| | LIMITS OF CLEARING AND GRADING | |
| | TEST PIT | |



CURVE TABLE

| CURVE | RADIUS | LENGTH | DELTA | TANGENT | CHORD | CHORD BEARING |
|-------|---------|---------|-----------|---------|---------|---------------|
| 1 | 119.90' | 68.92' | 32°56'12" | 35.44' | 67.98' | N64°04'01"E |
| 2 | 261.53' | 114.96' | 25°11'10" | 58.43' | 114.04' | N67°56'32"E |



SPECIAL EXCEPTION PLAT

SPECIAL EXCEPTION PLAT
9571 FAIRFAX BOULEVARD
 CITY OF FAIRFAX, VIRGINIA

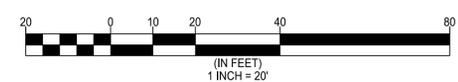
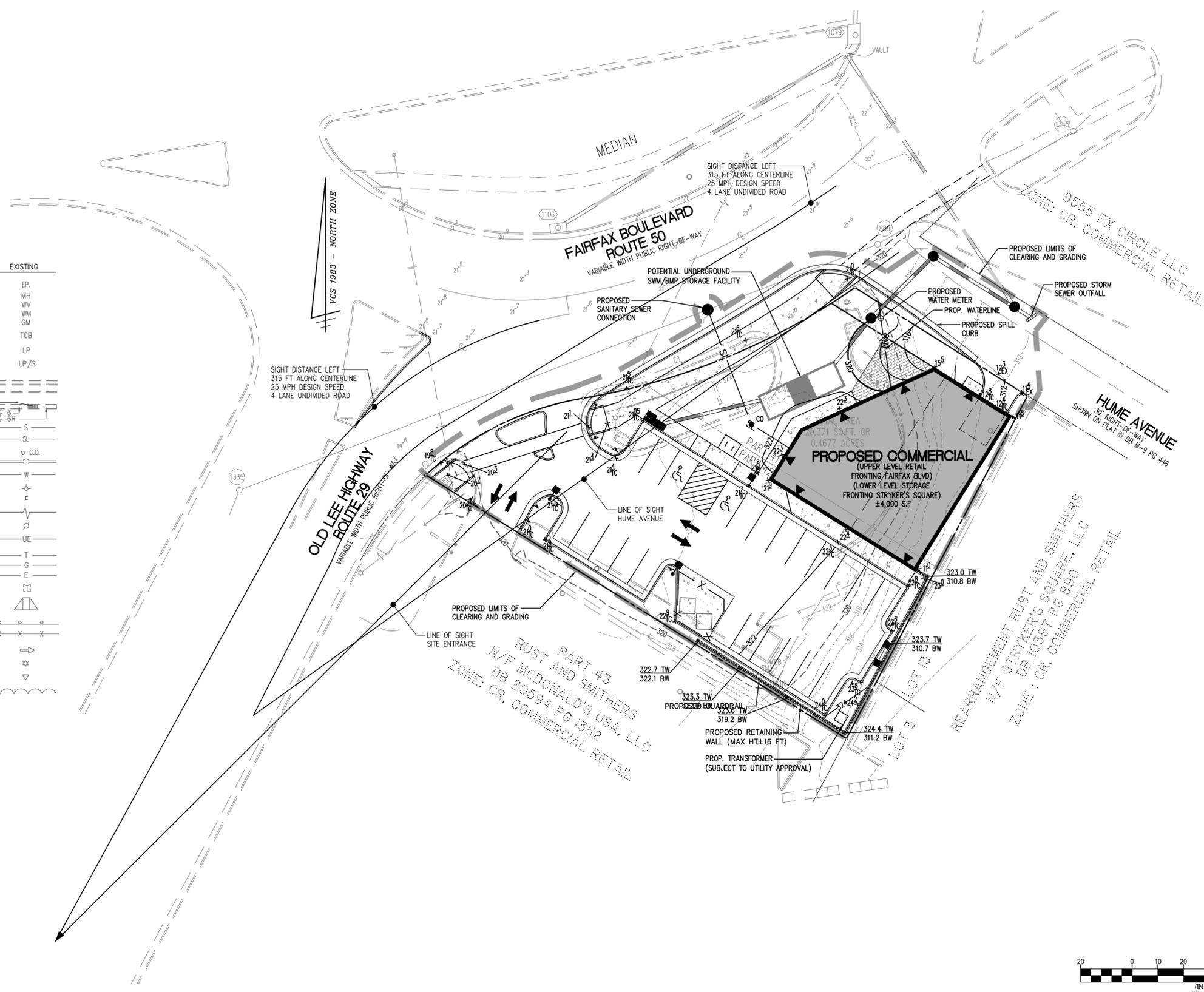
| NO. | DESCRIPTION | REVISION APPROVED BY | | DATE | |
|-----|-------------|----------------------|----|------|----|
| | | DATE | BY | DATE | BY |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |



WALTER L. PHILLIPS
 ENGINEERS • SURVEYORS • PLANNERS
 LANDSCAPE ARCHITECTS • ARBORISTS
 207 PARK AVENUE
 FALLS CHURCH, VIRGINIA 22046
 (703) 532-6163 Fax (703) 533-1301
 www.WLPINC.com

DATE: 10/29/2019; REV: 1/29/2020, 3/20/2020, 4/16/2020
 SCALE: 1" = 20'
 DRAWN: IMH
 CHECKED: AV

| PROPOSED | DESCRIPTION | EXISTING |
|----------|-----------------------------------|----------|
| EP | EDGE OF PAVEMENT | EP |
| MH | MANHOLE | MH |
| WV | WATER VALVE | WV |
| WM | WATER METER | WM |
| GM | GAS METER | GM |
| TCB | TRAFFIC CONTROL BOX | TCB |
| LP | LIGHT POLE | LP |
| LP/S | LIGHT POLE WITH SIGNALS | LP/S |
| CG-2 | CURB & GUTTER | CG-2 |
| CG-6R | TRANSITION FROM CG-6 TO CG-6R | CG-6R |
| CG-6 | CG-6 | CG-6 |
| SL | SANITARY LATERAL | SL |
| C.O. | CLEAN OUT | C.O. |
| W | STORM SEWER | W |
| W | WATER MAIN | W |
| F | FIRE HYDRANT PLUG | F |
| OE | OVERHEAD WIRES | OE |
| UE | UTILITY POLE UNDERGROUND ELECTRIC | UE |
| T | TELEPHONE | T |
| G | GAS MAIN | G |
| E | ELECTRICAL | E |
| TR | TRANSFORMER | TR |
| CG-12 | HANDICAP RAMP | CG-12 |
| X | GUARDRAIL | X |
| X | FENCE | X |
| → | TRAFFIC FLOW | → |
| ○ | LIGHT | ○ |
| □ | DOOR | □ |
| ○ | TREES | ○ |
| ○ | LIMITS OF CLEARING AND GRADING | ○ |
| ○ | TEST PIT | ○ |



PRELIMINARY UTILITY AND GRADING PLAN

SPECIAL EXCEPTION PLAT

9571 FAIRFAX BOULEVARD

CITY OF FAIRFAX, VIRGINIA

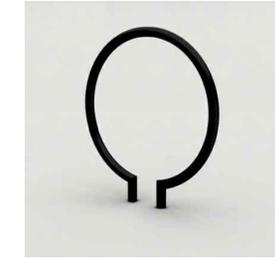
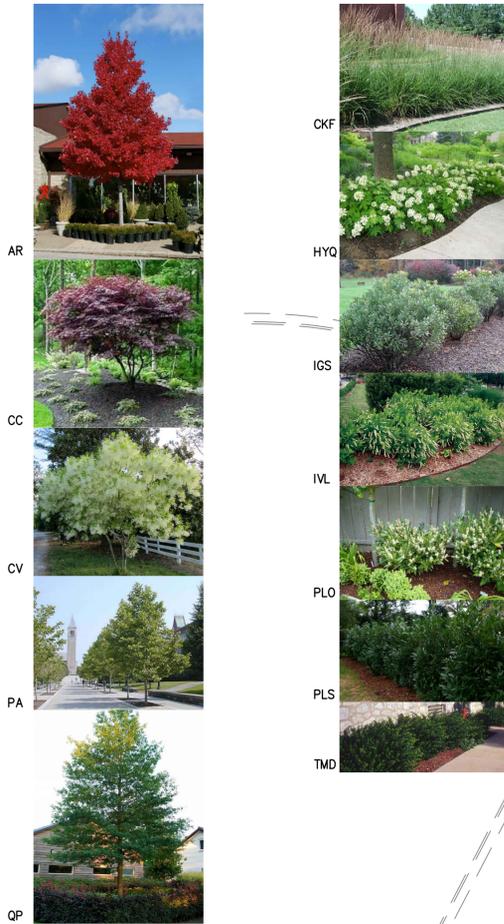
| NO. | DESCRIPTION | REVISION APPROVED BY | | DATE | |
|-----|-------------|----------------------|----|------|----|
| | | DATE | BY | DATE | BY |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |



WALTER L. PHILLIPS
INCORPORATED ESTABLISHED 1945
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS • ARBORISTS
207 PARK AVENUE
FALLS CHURCH, VIRGINIA 22046
(703) 532-6163 Fax (703) 533-1301
www.WLPINC.com

DATE: 10/29/2019; REV: 1/29/2020, 3/20/2020, 4/16/2020
DRAWN: IMH
CHECKED: AV

EXAMPLE PLANT SPECIES IMAGES



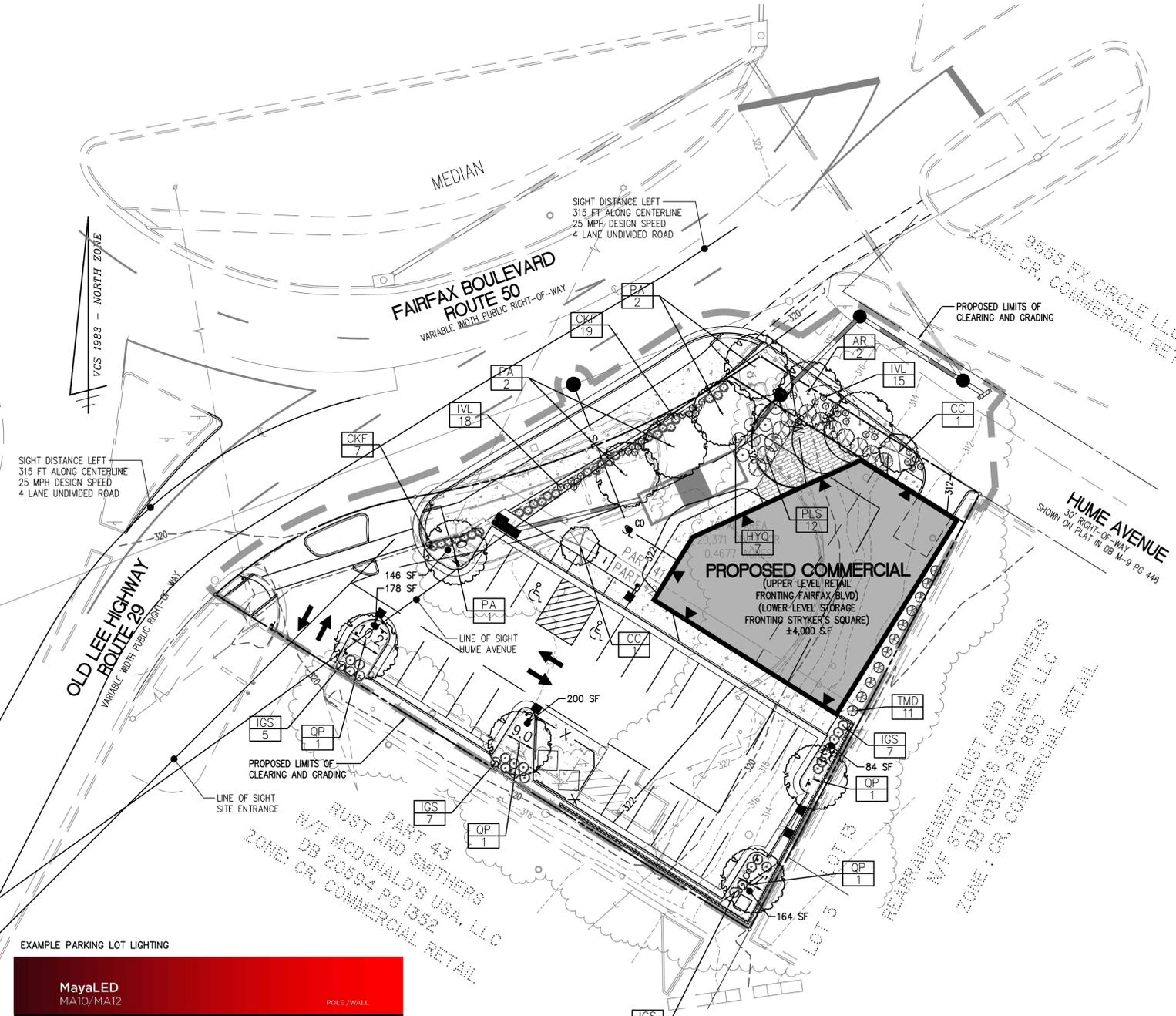
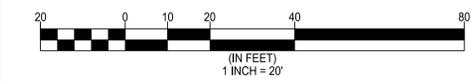
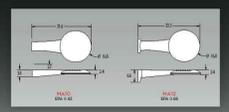
EXAMPLE BIKE RACK
LANDSCAPE FORMS - RING BIKE RACK (OR SIMILAR)

EXAMPLE PARKING LOT LIGHTING



LIGHTING NOTES:

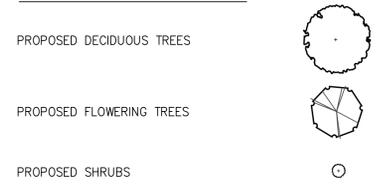
1. THIS PRODUCT OR APPROVE EQUAL SHALL BE USED FOR PARKING LOT LIGHTING.
2. FIXTURE SHALL BE FULL CUT OFF AND DIRECTIONALLY SHIELDED.
3. MOUNTING HEIGHT SHALL BE IN ACCORDANCE WITH CITY OF FAIRFAX LIGHTING STANDARDS.
4. LIGHTING LEVELS AT SURFACE AND AT PERIMETER PROPERTY LINES SHALL BE IN ACCORDANCE WITH CITY OF FAIRFAX LIGHTING STANDARDS.
5. POLE AND FIXTURE HEAD SHOULD BE PAINTED MATTE BLACK TO MATCH WALL-MOUNTED LIGHTING.



LEGEND

| PROPOSED | DESCRIPTION | EXISTING |
|----------|--------------------------------|----------|
| EP | EDGE OF PAVEMENT | EP |
| MH | MANHOLE | MH |
| WV | WATER VALVE | WV |
| WM | WATER METER | WM |
| GM | GAS METER | GM |
| TCB | TRAFFIC CONTROL BOX | TCB |
| LP | LIGHT POLE | LP |
| LP/S | LIGHT POLE WITH SIGNALS | LP/S |
| CG-2 | CURB & GUTTER | CG-2 |
| CG-6 | TRANSITION FROM CG-6 TO CG-6R | CG-6 |
| CG-6R | SANITARY SEWER | CG-6R |
| SL | SANITARY LATERAL | SL |
| C.O. | CLEAN OUT | C.O. |
| SS | STORM SEWER | SS |
| W | WATER MAIN | W |
| FH | FIRE HYDRANT PLUG | FH |
| OW | OVERHEAD WIRES | OW |
| UE | UTILITY POLE ELECTRIC | UE |
| T | TELEPHONE | T |
| G | GAS MAIN | G |
| E | ELECTRICAL | E |
| TR | TRANSFORMER | TR |
| HR | HANDICAP RAMP (CG-12) | HR |
| GR | GUARDRAIL | GR |
| F | FENCE | F |
| TF | TRAFFIC FLOW | TF |
| L | LIGHT | L |
| D | DOOR | D |
| LCG | LIMITS OF CLEARING AND GRADING | LCG |

LANDSCAPE LEGEND



TREE COVER CALCULATIONS

| | |
|--|-------------------|
| SITE AREA | 20,371 S.F. |
| PERCENT REQUIRED | X 10 % |
| TREE COVER REQUIRED | 2,037 S.F. |
| TREE COVER PROVIDED (PLANTED) | |
| 9 DECIDUOUS TREES @ 250 SF | 2,250 S.F. |
| 4 FLOWERING TREES @ 100 SF | 400 S.F. |
| TOTAL TREE COVERAGE PROVIDED | 2,650 S.F. |
| TOTAL EXISTING TREE COVERAGE TO REMAIN | 0 S.F. |
| TOTAL TREE COVERAGE PROVIDED | 2,650 S.F. |

NOTE: ALL PLANT SPECIES ARE EXAMPLES, LOCATIONS AND SPECIES TYPES MAY VARY.

| KEY | BOTANICAL NAME / COMMON NAME | SIZE | QUANTITY | COMMENTS | COVERAGE | |
|-----|---|---------------------|----------|----------|----------|---------|
| | | | | | UNIT | TOTAL |
| AR | ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE | 3 1/2" CAL. B&B. | 2 | | 250.00 | 500.00 |
| CC | CERCIS CANADENSIS 'FOREST PANSY' 'FOREST PANSY' REDBUD | 6-7" TALL | 2 | | 100.00 | 200.00 |
| PA | PLATANUS x ACERFOLIA 'BLOODGOOD' LONDON PLANETREE | 3 1/2" CAL. B&B. | 5 | | 250.00 | 1250.00 |
| QP | QUERCUS PHELLOS WILLOW OAK | 3 1/2" CAL. B&B | 4 | | 250.00 | 1000.00 |

| KEY | BOTANICAL NAME / COMMON NAME | SIZE | QUANTITY | COMMENTS |
|-----|--|------------|----------|----------|
| CKF | CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' FEATHER REED GRASS | 1 GAL CONT | 32 | |
| HYQ | HYDRANGEA QUERCIFOLIA OAK LEAF HYDRANGEA | 24" SPREAD | 7 | |
| IGS | ILEX GLABRA 'SHAMROCK' INKBERRY | 24" SPREAD | 24 | |
| IVL | ITEA VIRGINIANA 'LITTLE HENRY' VIRGINIA SWEETSPICE | 18" SPREAD | 33 | |
| PLS | PRUNUS LAUROCERASUS 'SCHIPKAENSIS' SKIP LAUREL | 24" SPREAD | 12 | |
| TMD | TAXUS MEDIA 'DENSIFORMIS' YEW | 24" SPREAD | 11 | |

CONCEPTUAL LANDSCAPE PLAN AND TABULATIONS

SPECIAL EXCEPTION PLAT

9571 FAIRFAX BOULEVARD

CITY OF FAIRFAX, VIRGINIA

Engineers • Surveyors • Planners
Landscape Architects • Arborists

WALTER L. PHILLIPS

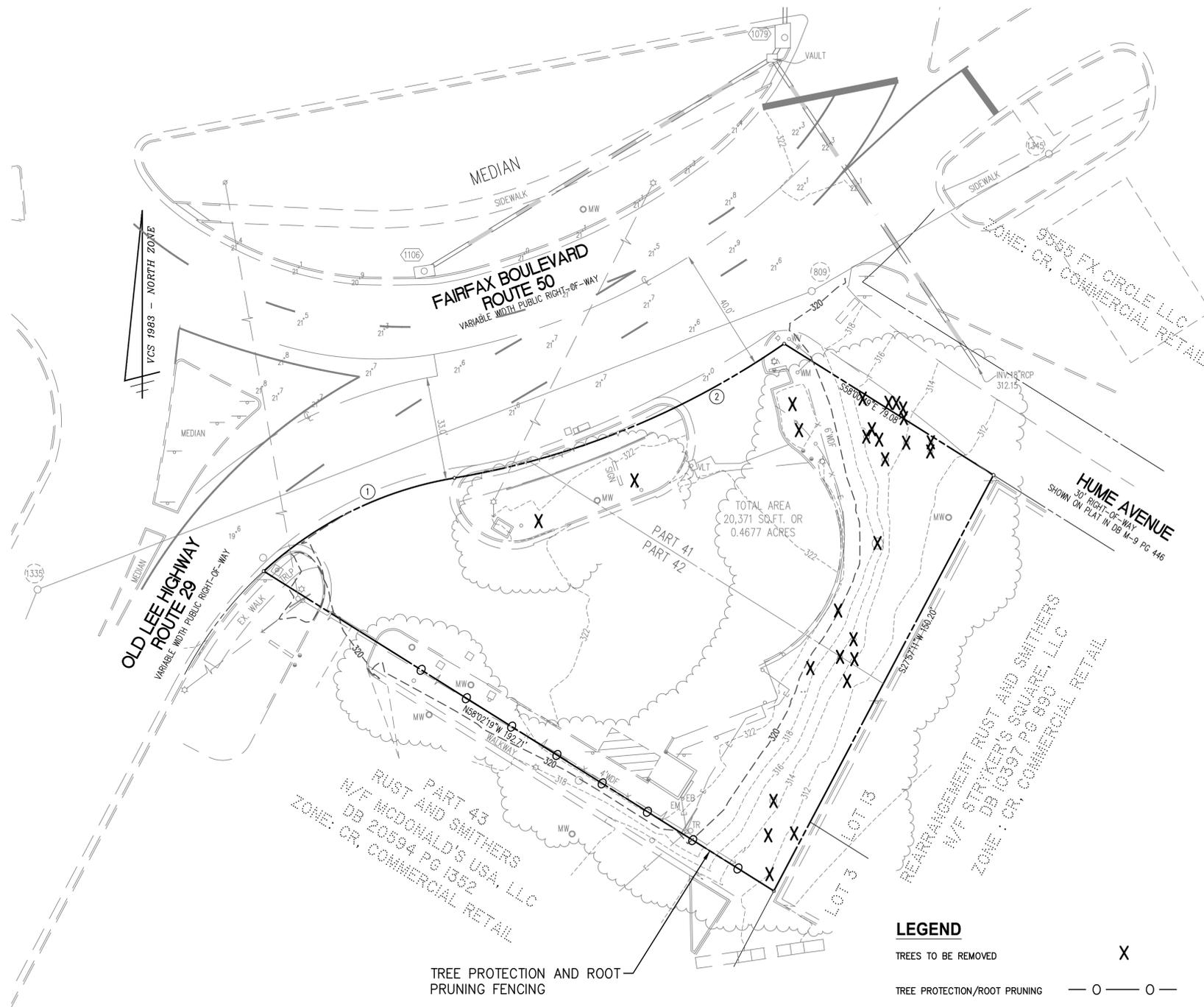
207 PARK AVENUE
FALLS CHURCH, VIRGINIA 22046
(703) 532-6163 Fax (703) 533-1301
www.WLPINC.com

INCORPORATED ESTABLISHED 1945
DATE: 10/29/2019; REV: 1/29/2020; 3/20/2020; 4/16/2020
SCALE: 1" = 20'

CHECKED: AV
DRAWN: MH

REVISION APPROVED BY

| NO. | DESCRIPTION | DATE | REV. BY | APPROVED | DATE |
|-----|-------------|------|---------|----------|------|
| | | | | | |



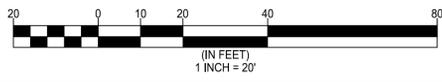
TREE PROTECTION AND ROOT PRUNING FENCING

LEGEND

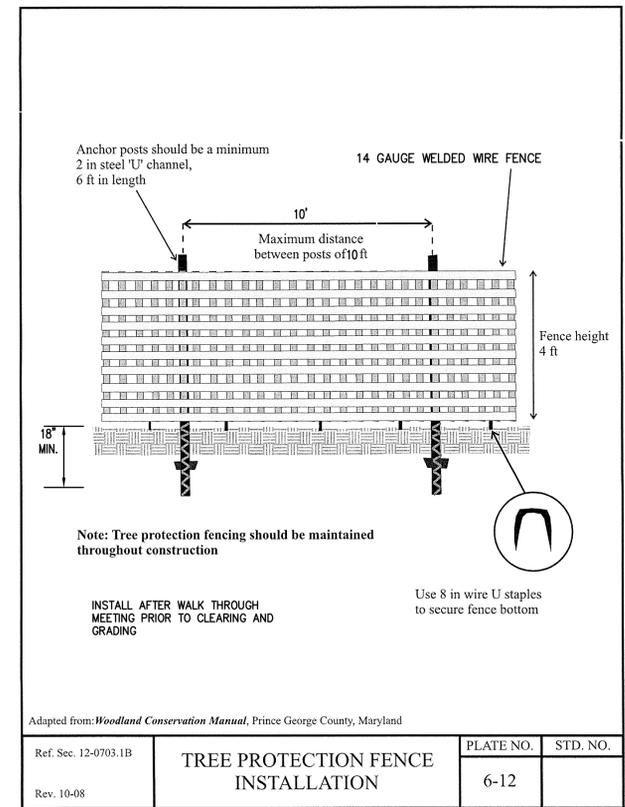
- TREES TO BE REMOVED X
- TREE PROTECTION/ROOT PRUNING O

TREE INVENTORY, TREE PRESERVATION AND LANDSCAPE PLAN PREPARED BY:

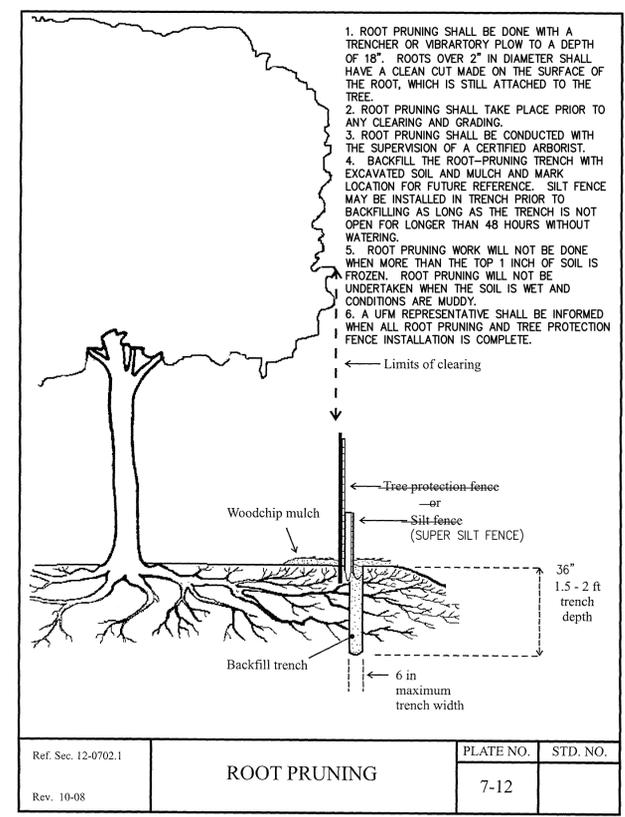
 BENJAMIN J. SCHITTER, CERTIFIED ARBORIST ISA #MA-5385A 09/12/2018



FAIRFAX COUNTY PUBLIC FACILITIES MANUAL



FAIRFAX COUNTY PUBLIC FACILITIES MANUAL

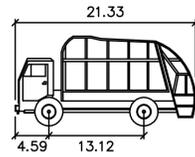


Engineers • Surveyors • Planners
 Landscape Architects • Arborists
WALTER L. PHILLIPS
 207 PARK AVENUE
 FALLS CHURCH, VIRGINIA 22046
 (703) 532-6163 Fax (703) 533-1301
 www.WLPINC.com



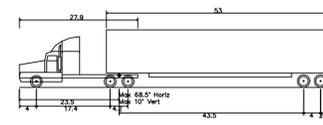
| NO. | DESCRIPTION | DATE | REV. BY | APPROVED |
|-----|-------------|------|---------|----------|
| | | | | |
| | | | | |
| | | | | |

TREE MANAGEMENT PLAN
SPECIAL EXCEPTION PLAT
9571 FAIRFAX BOULEVARD
 CITY OF FAIRFAX, VIRGINIA

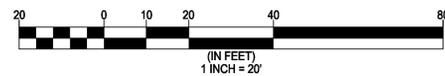
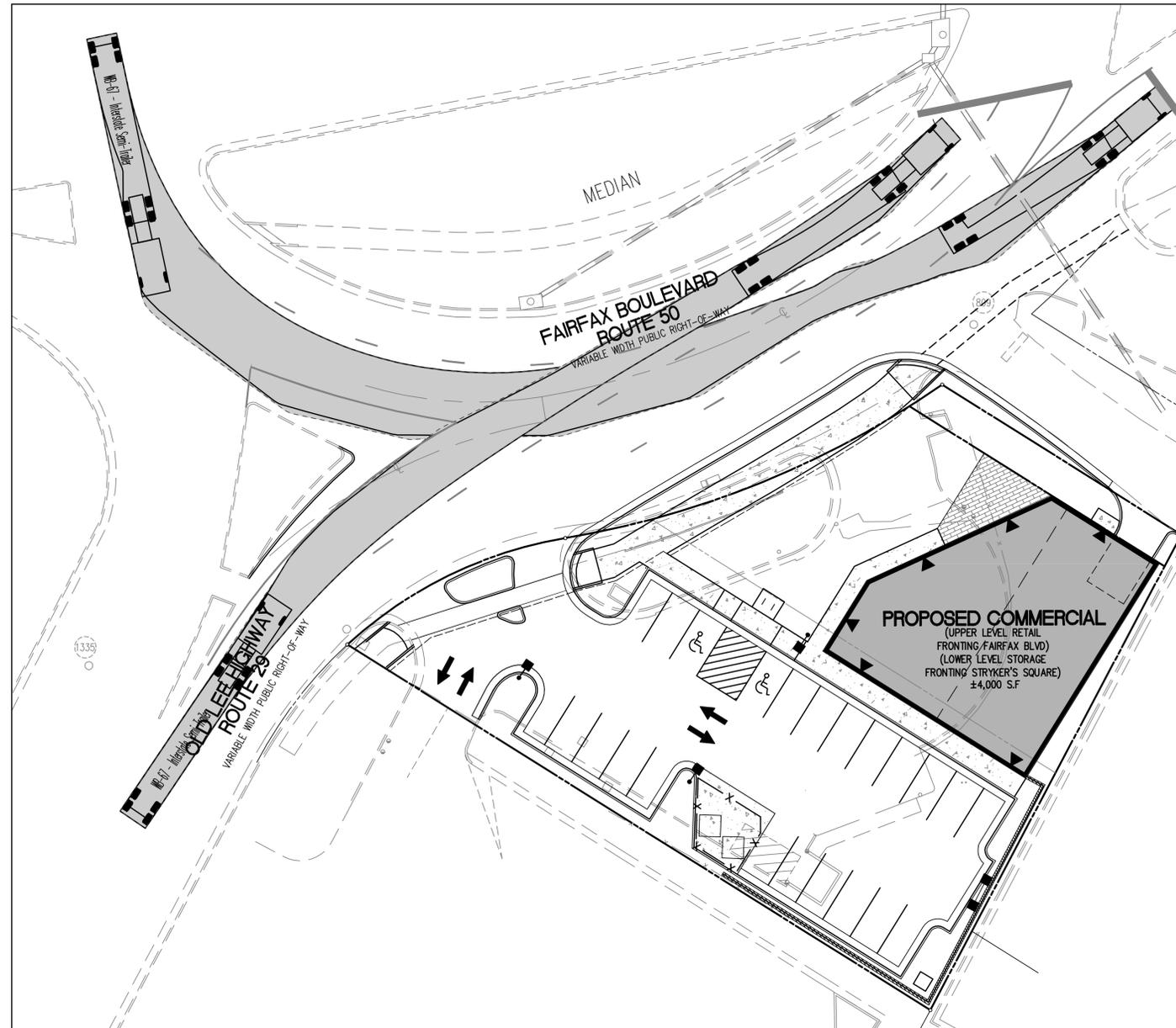
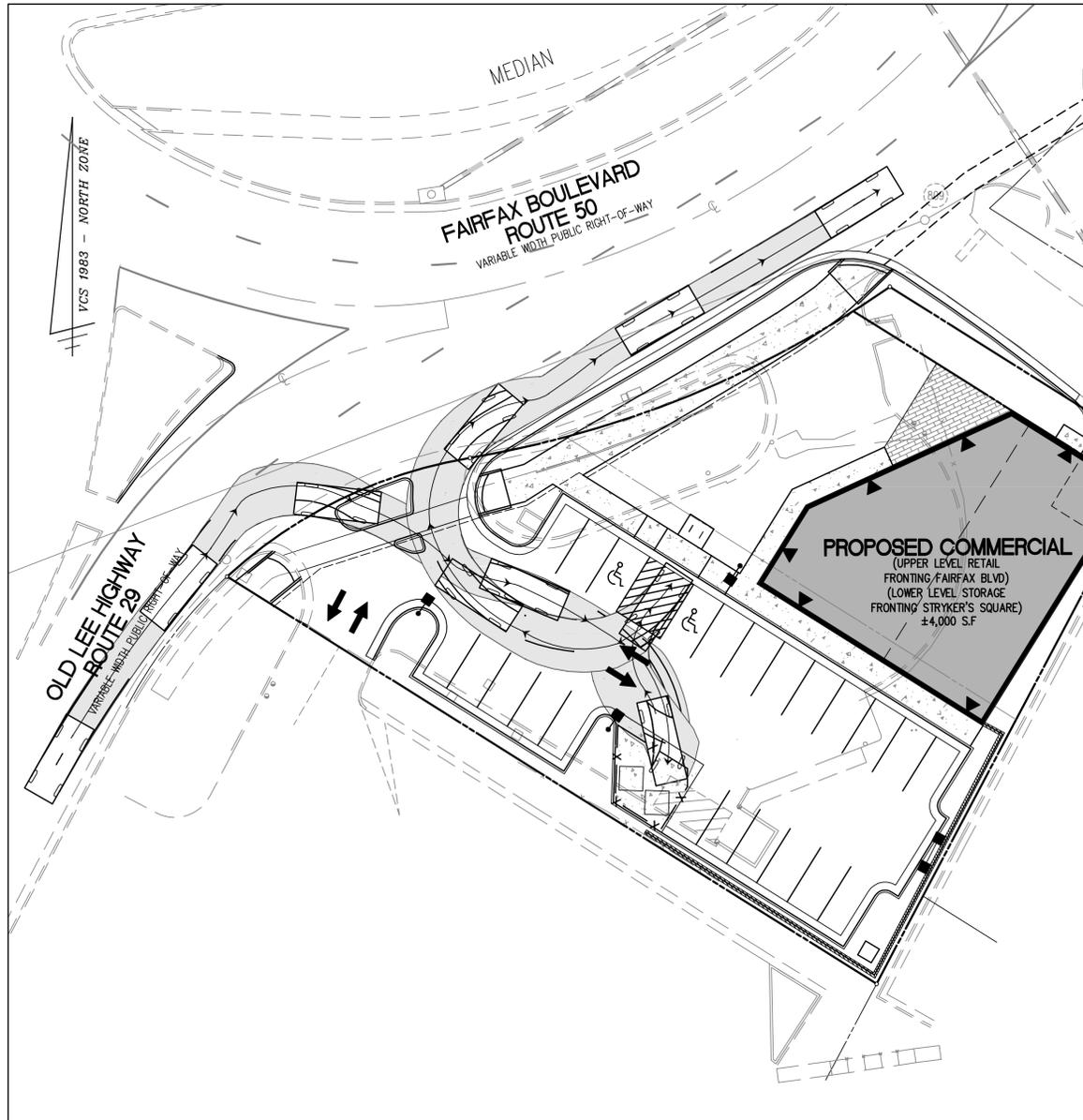


TRASH TRUCK

- Width : 8.04
- Track : 8.04
- Lock to Lock Time : 6.0
- Steering Angle : 28.0



- WB-67 - Interstate Semi-Trailer
- Overall Length 73.50ft
- Overall Width 8.50ft
- Overall Body Height 13.50ft
- Min Body Ground Clearance 1.35ft
- Max Track Width 8.50ft
- Lock-to-lock time 6.0s
- Max Steering Angle (Virtual) 28.4°



Engineers • Surveyors • Planners
 Landscape Architects • Arborists
WALTER L. PHILLIPS
 INCORPORATED
 ESTABLISHED 1945
 207 PARK AVENUE
 FALLS CHURCH, VIRGINIA 22046
 (703) 532-6163 Fax (703) 533-1301
 www.WLPHINC.com



| NO. | DESCRIPTION | DATE | REV. | BY | APPROVED | DATE |
|-----|-------------|------|------|----|----------|------|
| | | | | | | |
| | | | | | | |
| | | | | | | |

TRUCK MOVEMENT EXHIBIT
 SPECIAL EXCEPTION PLAT
9571 FAIRFAX BOULEVARD
 CITY OF FAIRFAX, VIRGINIA

LEGEND

| PROPOSED | DESCRIPTION | EXISTING |
|----------|--------------------------------|----------|
| EP | EDGE OF PAVEMENT | EP. |
| MH | MANHOLE | MH |
| WV | WATER VALVE | WV |
| WM | WATER METER | WM |
| GM | GAS METER | GM |
| TCB | TRAFFIC CONTROL BOX | TCB |
| LP | LIGHT POLE | LP |
| LP/S | LIGHT POLE WITH SIGNALS | LP/S |
| | CURB & GUTTER | |
| | TRANSITION FROM CG-2 TO CG-6 | |
| | SANITARY SEWER | |
| | SANITARY LATERAL | |
| | CLEAN OUT | |
| | STORM SEWER | |
| | WATER MAIN | |
| | FIRE HYDRANT | |
| | OVERHEAD WIRES | |
| | UTILITY POLE | |
| | UNDERGROUND ELECTRIC | |
| | TELEPHONE | |
| | GAS MAIN | |
| | ELECTRICAL | |
| | TRANSFORMER | |
| | HANDICAP RAMP (CG-12) | |
| | GUARDRAIL FENCE | |
| | TRAFFIC FLOW | |
| | LIGHT | |
| | DOOR | |
| | TREES | |
| | LIMITS OF CLEARING AND GRADING | |
| | TEST PIT | |

FIRE LANE NOTE:

FIRE MARSHAL FIELD INSPECTION NECESSARY FOR FINAL APPROVAL OF FIRE LANES. FIRE LANES MUST HAVE FINAL APPROVAL PRIOR TO REQUEST FOR OCCUPANCY PERMIT, OWNER SHALL NOTIFY FIRE PREVENTION DIVISION, FIRE LANE SECTION 12099 GOVERNMENT CENTER PARKWAY, FAIRFAX, VA 22035 WHEN FIRE LANES HAVE BEEN INSTALLED. (703) 246-4806.

CURB DESIGNATION

ALL CURBS OR PAVED SPACES DESIGNATED AT FIRE LANES SHALL BE INDICATED BY YELLOW PAINT AS APPROVED BY THE FIRE PREVENTION DIVISION. IN AREAS WITHOUT CURBING, A 6" WIDE YELLOW STRIPE SHOULD BE APPLIED TO THE EDGE OF THE PAVEMENT. PAINT SHALL BE HIGHWAY TRAFFIC GRADE.

CURB DESIGNATION

SIGN TYPE "A"



STANDARD WORDING WITH AN ARROW AT BOTTOM POINTING TO THE RIGHT. ONE SIGN MOUNTED PARALLEL TO THE LINE OF CURBING OR PAVEMENT EDGE AT END OF PAINTED AREA.

SIGN TYPE "C"



STANDARD WORDING WITH AN ARROW AT BOTTOM POINTING TO THE LEFT. ONE SIGN MOUNTED PARALLEL TO THE LINE OF CURBING OR PAVEMENT EDGE AT END OF PAINTED AREA.

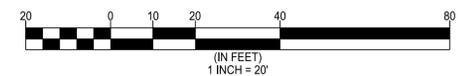
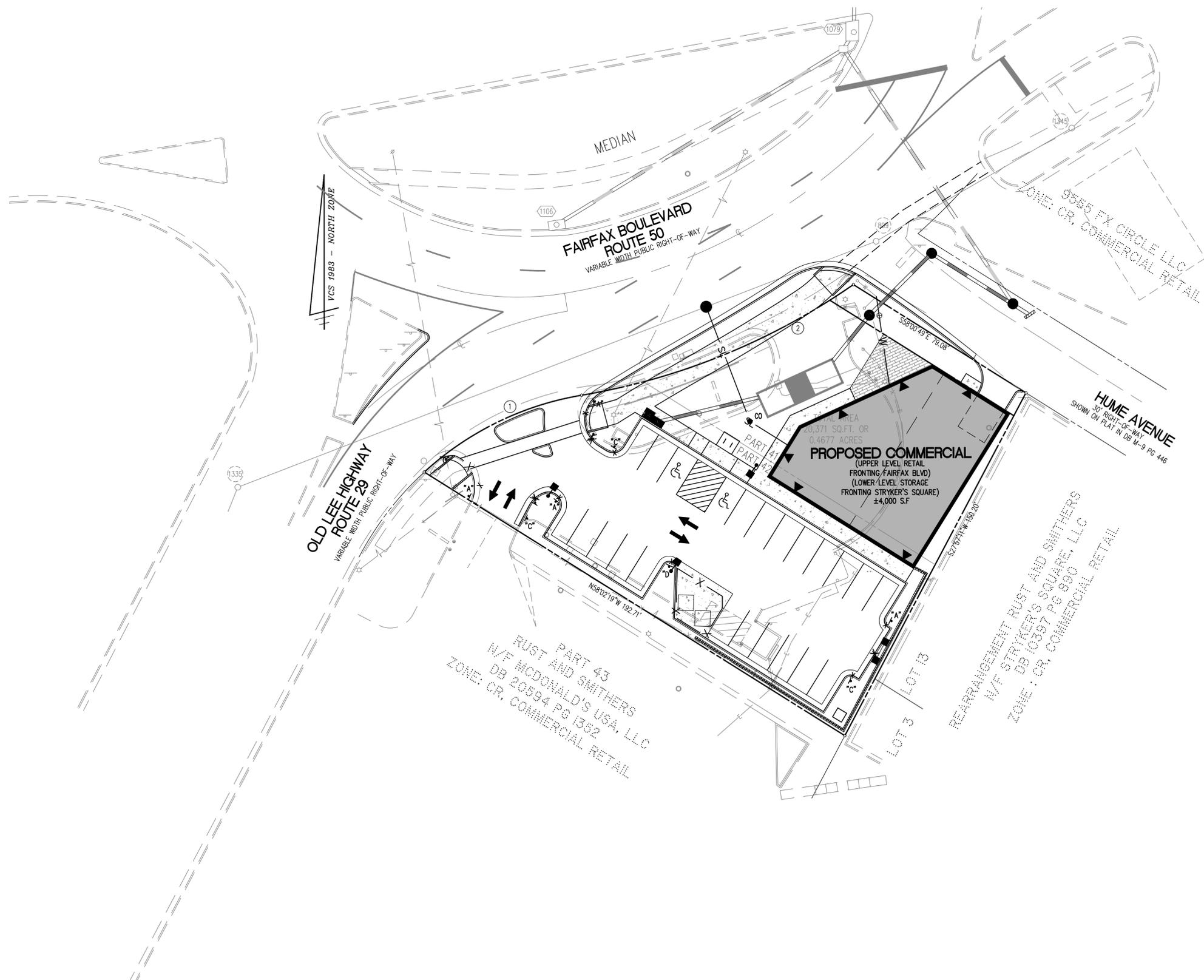
SIGN TYPE "D"



STANDARD WORDING WITH NO ARROW. TWO SIGNS, BACK TO BACK, MOUNTED PERPENDICULAR TO LINE OF CURBING OR PAVEMENT EDGE.

SIGN SPECIFICATIONS

- METAL CONSTRUCTION, 12" x 18".
- RED LETTERS ON WHITE REFLECTIVE BACKGROUND WITH 3/8" RED TRIM STRIP AROUND ENTIRE OUTER EDGE OF SIGN.
- LETTERING ON SIGN TO BE: "NO PARKING OR STANDING FIRE LANE"
- LETTERING SIZE TO BE AS FOLLOWS: "NO PARKING" AND "STANDING" - 2", "OR" - 1", "FIRE LANE" - 2 1/2", ARROWS 1" x 6" SOLID SHAFT WITH A SOLID HEAD 1 1/2" WIDE AND 2" DEEP.
- SIGNS ARE TO BE MOUNTED 7" FROM THE GROUND TO THE BOTTOM OF THE SIGN UNLESS OTHERWISE DIRECTED BY THE FAIRFAX COUNTY FIRE PREVENTION DIVISION, FIRE LANES SECTION.
- POSTS FOR SIGNS, WHEN REQUIRED, SHALL BE METAL AND SECURELY MOUNTED, UNLESS WRITTEN PERMISSION FOR ALTERNATIVES IS OBTAINED PRIOR TO INSTALLATION FROM FAIRFAX COUNTY PREVENTION DIVISION, FIRE LANES SECTION.
- OTHER SPECIAL SIGNS AS APPROVED BY THE FIRE PREVENTION DIVISION.
- NORMAL SPACING BETWEEN SIGNS FOR LONG RUNS OF CURB OR PAVEMENT WITH NO BREAK IN CURB OR PAVEMENT IS 100'. THIS DISTANCE MAY VARY AS NEEDED. WRITTEN PERMISSION FROM THE FIRE PREVENTION DIVISION IS REQUIRED PRIOR TO PLACING SIGNS FURTHER THAN 100' APART.



FIRE LANE EXHIBIT

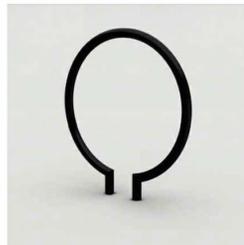
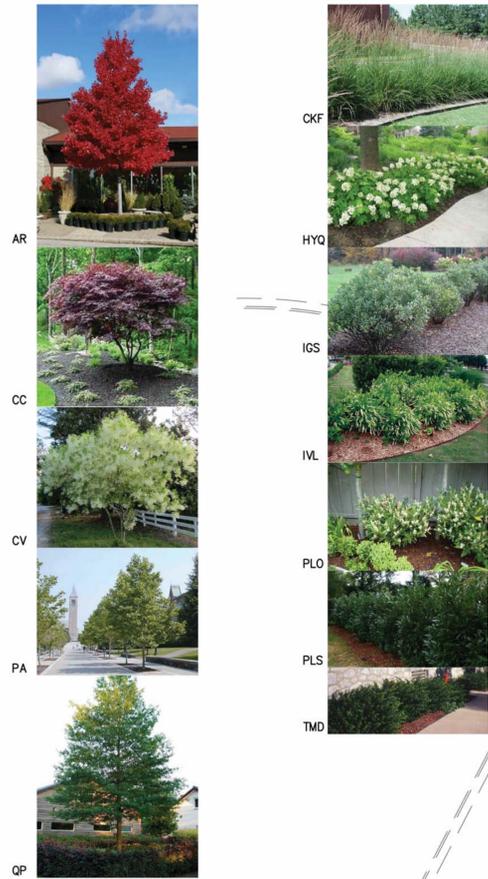
SPECIAL EXCEPTION PLAT

9571 FAIRFAX BOULEVARD

CITY OF FAIRFAX, VIRGINIA

WALTER L. PHILLIPS
 ENGINEERS • SURVEYORS • PLANNERS
 LANDSCAPE ARCHITECTS • ARBORISTS
 207 PARK AVENUE
 FALLS CHURCH, VIRGINIA 22046
 (703) 532-6163 Fax (703) 533-1301
 WWW.WLPINC.COM
 ESTABLISHED 1945
 IN CORPORATED 1945
 DATE: 10/29/2019; REV: 1/29/2020; 3/20/2020; 4/16/2020
 SCALE: 1" = 20'
 DRAWN: IMH
 CHECKED: AV

| NO. | DESCRIPTION | DATE | REV. | APPROVED BY |
|-----|-------------|------|------|-------------|
| | | | | |
| | | | | |
| | | | | |
| | | | | |



EXAMPLE BIKE RACK LANDSCAPE FORMS - RING BIKE RACK (OR SIMILAR)

LIGHTING FIXTURE SCHEDULE

| MARK | MANUFACTURER | MODEL | FINISH | DESCRIPTION |
|------|------------------|-------|-------------|-------------------------------|
| L1 | CONTECH LIGHTING | CY3T | MATTE BLACK | 3000K LED UP/DOWN WALL SCONCE |

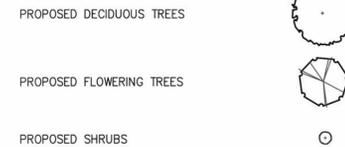
| KEY | BOTANICAL NAME / COMMON NAME | SIZE | QUANTITY | COMMENTS | COVERAGE | |
|-----|---|----------------|----------|----------|----------|---------|
| | | | | | UNIT | TOTAL |
| AR | ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE | 3 1/2" CAL B&B | 2 | | 250.00 | 500.00 |
| CC | CERCIS CANADENSIS 'FOREST PANSY' 'FOREST PANSY' REDBUD | 6-7" TALL | 2 | | 100.00 | 200.00 |
| PA | PLATANUS x ACERFOLIA 'BLOODGOOD' LONDON PLANETREE | 3 1/2" CAL B&B | 5 | | 250.00 | 1250.00 |
| QP | QUERCUS PHELLOS WILLOW OAK | 3 1/2" CAL B&B | 4 | | 250.00 | 1000.00 |

| KEY | BOTANICAL NAME / COMMON NAME | SIZE | QUANTITY | COMMENTS |
|-----|--|------------|----------|----------|
| CKF | CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' FEATHER REED GRASS | 1 GAL CONT | 32 | |
| HYQ | HYDRANGEA QUERCIFOLIA OAK LEAF HYDRANGEA | 24" SPREAD | 7 | |
| IGS | ILEX GLABRA 'SHAMROCK' INKBERRY | 24" SPREAD | 24 | |
| IVL | ITEA VIRGINIANA 'LITTLE HENRY' VIRGINIA SWEETSPICE | 18" SPREAD | 33 | |
| PLS | PRUNUS LAUROCERASUS 'SCHIPKAENSIS' SKIP LAUREL | 24" SPREAD | 12 | |
| TMD | TAXUS MEDIA 'DENSIFORMIS' YEW | 24" SPREAD | 11 | |

LEGEND

| PROPOSED | DESCRIPTION | EXISTING |
|----------|--------------------------------|----------|
| EP | EDGE OF PAVEMENT | EP |
| MH | MANHOLE | MH |
| WV | WATER VALVE | WV |
| WM | WATER METER | WM |
| GM | GAS METER | GM |
| TCB | TRAFFIC CONTROL BOX | TCB |
| LP | LIGHT POLE | LP |
| LP/S | LIGHT POLE WITH SIGNALS | LP/S |
| CG-2 | CURB & GUTTER | CG-2 |
| CG-6 | TRANSITION FROM CG-6 TO CG-6R | CG-6R |
| SS | SANITARY SEWER | S |
| SL | SANITARY LATERAL | SL |
| CO | CLEAN OUT | CO |
| SS | STORM SEWER | SS |
| WM | WATER MAIN | W |
| PH | FIRE HYDRANT PLUG | PH |
| OW | OVERHEAD WIRES | OW |
| UP | UTILITY POLE | UP |
| UE | UNDERGROUND ELECTRIC | UE |
| T | TELEPHONE | T |
| G | GAS MAIN | G |
| E | ELECTRICAL | E |
| TR | TRANSFORMER | TR |
| HR | HANDICAP RAMP (CG-12) | HR |
| GR | GUARDRAIL | GR |
| FC | FENCE | FC |
| TF | TRAFFIC FLOW | TF |
| L | LIGHT | L |
| D | DOOR | D |
| LCG | LIMITS OF CLEARING AND GRADING | LCG |

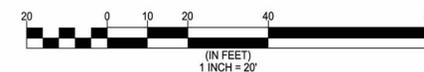
LANDSCAPE LEGEND



TREE COVER CALCULATIONS

| | |
|--|-------------|
| SITE AREA | 20,371 S.F. |
| PERCENT REQUIRED | X 10 % |
| TREE COVER REQUIRED | 2,037 S.F. |
| TREE COVER PROVIDED (PLANTED) | |
| 9 DECIDUOUS TREES @ 250 SF | 2,250 S.F. |
| 4 FLOWERING TREES @ 100 SF | 400 S.F. |
| TOTAL TREE COVERAGE PROVIDED | 2,650 S.F. |
| TOTAL EXISTING TREE COVERAGE TO REMAIN | 0 S.F. |
| TOTAL TREE COVERAGE PROVIDED | 2,650 S.F. |

NOTE: ALL PLANT SPECIES ARE EXAMPLES, LOCATIONS AND SPECIES TYPES MAY VARY.



CONCEPTUAL LANDSCAPE PLAN AND TABULATIONS

SPECIAL EXCEPTION PLAN

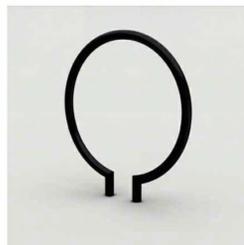
9571 FAIRFAX BOULEVARD

CITY OF FAIRFAX, VIRGINIA

Engineers • Surveyors • Planners
Landscape Architects • Arborists
WALTER L. PHILLIPS
207 PARK AVENUE
FALLS CHURCH, VIRGINIA 22046
(703) 532-6163 Fax (703) 533-1301
www.WLPINC.com



| NO. | DESCRIPTION | DATE | APPROVED BY | DATE |
|-----|-------------|------|-------------|------|
| | | | | |



EXAMPLE BIKE RACK
LANDSCAPE FORMS - RING BIKE RACK (OR SIMILAR)

LIGHTING FIXTURE SCHEDULE

| MARK | MANUFACTURER | MODEL | FINISH | DESCRIPTION |
|------|------------------|-------|-------------|-------------------------------|
| L1 | CONTECH LIGHTING | CY3T | MATTE BLACK | 3000K LED UP/DOWN WALL SCONCE |

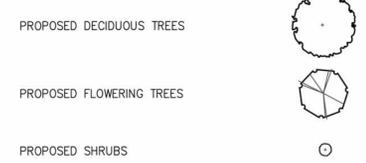
| KEY | BOTANICAL NAME / COMMON NAME | SIZE | QUANTITY | COMMENTS | COVERAGE | |
|-----|---|---------------------|----------|----------|----------|---------|
| | | | | | UNIT | TOTAL |
| AR | ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE | 3 1/2" CAL. B&B. | 2 | | 250.00 | 500.00 |
| CC | CERCIS CANADENSIS 'FOREST PANSY' 'FOREST PANSY' REDBUD | 6-7" TALL | 2 | | 100.00 | 200.00 |
| PA | PLATANUS x ACERFOLIA 'BLOODGOOD' LONDON PLANETREE | 3 1/2" CAL. B&B. | 5 | | 250.00 | 1250.00 |
| QP | QUERCUS PHELLOS WILLOW OAK | 3 1/2" CAL. B&B | 4 | | 250.00 | 1000.00 |

| KEY | BOTANICAL NAME / COMMON NAME | SIZE | QUANTITY | COMMENTS |
|-----|--|------------|----------|----------|
| CKF | CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' FEATHER REED GRASS | 1 GAL CONT | 32 | |
| HYQ | HYDRANGEA QUERCIFOLIA OAK LEAF HYDRANGEA | 24" SPREAD | 7 | |
| IGS | ILEX GLABRA 'SHAMROCK' INKBERRY | 24" SPREAD | 24 | |
| IVL | ITEA VIRGINIANA 'LITTLE HENRY' VIRGINIA SWEETSPICE | 18" SPREAD | 33 | |
| PLS | PRUNUS LAUROCERASUS 'SCHIPKAENSIS' SKIP LAUREL | 24" SPREAD | 12 | |
| TMD | TAXUS MEDIA 'DENSIFORMIS' YEW | 24" SPREAD | 11 | |

LEGEND

| PROPOSED | DESCRIPTION | EXISTING |
|----------|--------------------------------|----------|
| EP | EDGE OF PAVEMENT | EP. |
| MH | MANHOLE | MH |
| WV | WATER VALVE | WV |
| WM | WATER METER | WM |
| GM | GAS METER | GM |
| TCB | TRAFFIC CONTROL BOX | TCB |
| LP | LIGHT POLE | LP |
| LP/S | LIGHT POLE WITH SIGNALS | LP/S |
| CG-2 | CURB & GUTTER | CG-2 |
| CG-6 | TRANSITION FROM CG-6 TO CG-6R | CG-6 |
| CG-6R | | CG-6R |
| SL | SANITARY SEWER | SL |
| SL | SANITARY LATERAL | SL |
| C.O. | CLEAN OUT | C.O. |
| W | STORM SEWER | W |
| W | WATER MAIN | W |
| F | FIRE HYDRANT PLUG | F |
| OW | OVERHEAD WIRES | OW |
| UE | UTILITY POLE | UE |
| UE | UNDERGROUND ELECTRIC | UE |
| T | TELEPHONE | T |
| G | GAS MAIN | G |
| E | ELECTRICAL | E |
| TR | TRANSFORMER | TR |
| R | HANDICAP RAMP (CG-12) | R |
| G | GUARDRAIL | G |
| F | FENCE | F |
| → | TRAFFIC FLOW | → |
| ○ | LIGHT | ○ |
| □ | DOOR | □ |
| --- | LIMITS OF CLEARING AND GRADING | --- |

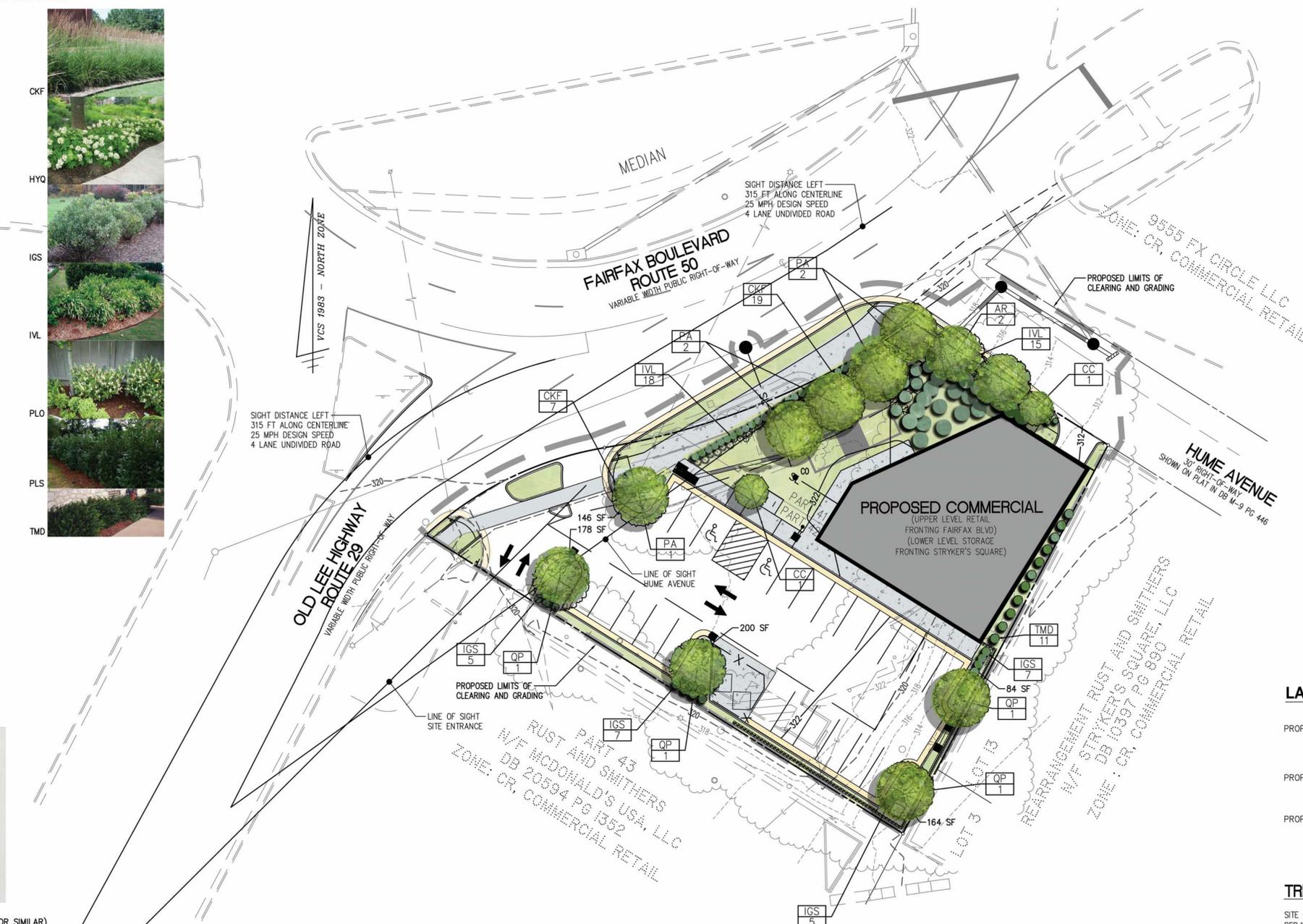
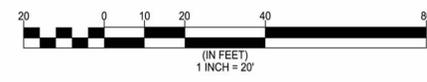
LANDSCAPE LEGEND



TREE COVER CALCULATIONS

| | |
|--|-------------|
| SITE AREA | 20,371 S.F. |
| PERCENT REQUIRED | X 10 % |
| TREE COVER REQUIRED | 2,037 S.F. |
| TREE COVER PROVIDED (PLANTED) | |
| 9 DECIDUOUS TREES @ 250 SF | 2,250 S.F. |
| 4 FLOWERING TREES @ 100 SF | 400 S.F. |
| TOTAL TREE COVERAGE PROVIDED | 2,650 S.F. |
| TOTAL EXISTING TREE COVERAGE TO REMAIN | 0 S.F. |
| TOTAL TREE COVERAGE PROVIDED | 2,650 S.F. |

NOTE: ALL PLANT SPECIES ARE EXAMPLES, LOCATIONS AND SPECIES TYPES MAY VARY.



WALTER L. PHILLIPS
 ENGINEERS • SURVEYORS • PLANNERS
 LANDSCAPE ARCHITECTS • ARBORISTS
 207 PARK AVENUE
 FALLS CHURCH, VIRGINIA 22048
 (703) 532-6163 Fax (703) 533-1301
 www.WLPINC.com

PHILLIPS
 LANDSCAPE ARCHITECTS
 3/20/20

REVISION APPROVED BY: [] DATE: []
 REV. BY: [] APPROVED: [] DATE: []
 NO. DESCRIPTION DATE

CONCEPTUAL LANDSCAPE PLAN AND TABULATIONS
 SPECIAL EXCEPTION PLAT
9571 FAIRFAX BOULEVARD
 CITY OF FAIRFAX, VIRGINIA

SHEET: P-0401



NORTHWEST ELEVATION



SOUTHWEST ELEVATION

NOTES:

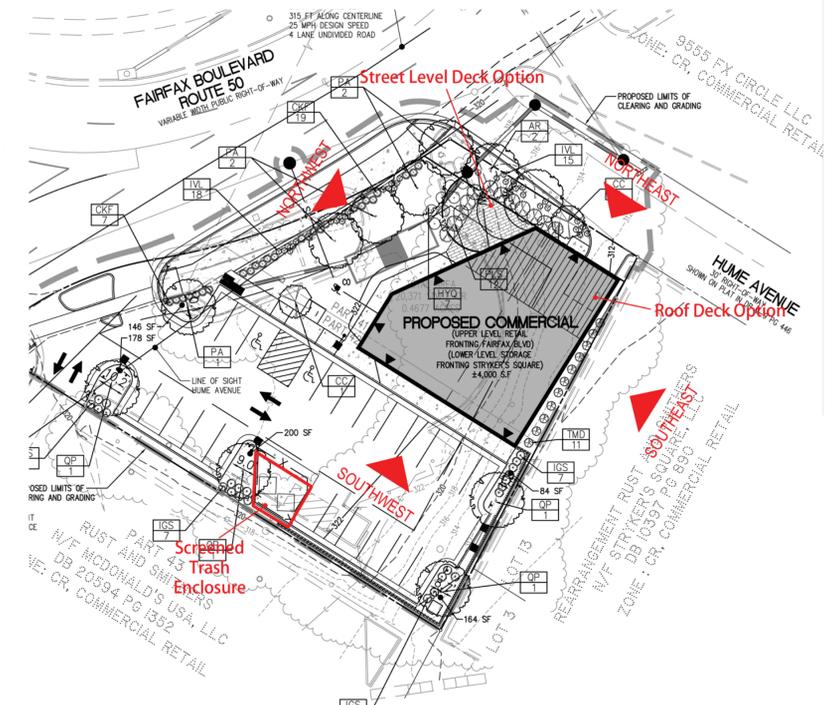
1. 42" GLASS GUARDRAIL IS INCLUDED EXCLUSIVELY WITH OPTION 1 (DECK).



SOUTHEAST ELEVATION



NORTHEAST ELEVATION





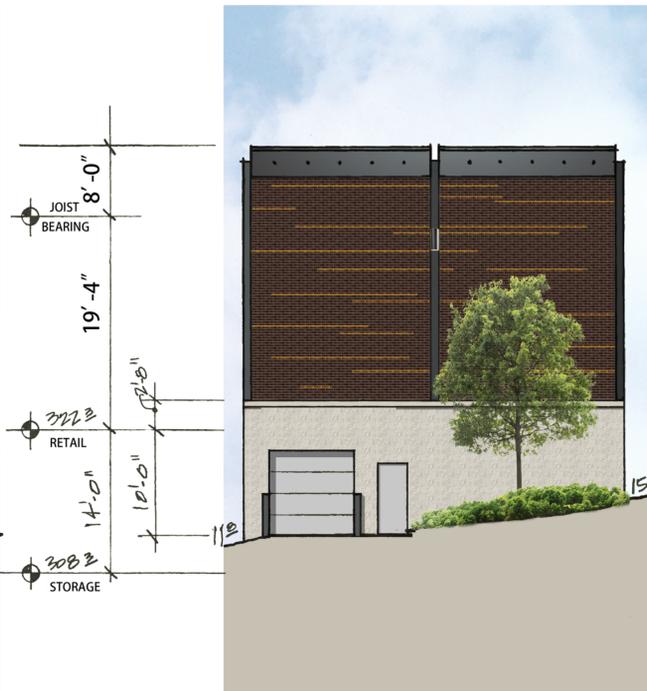
NORTHWEST ELEVATION



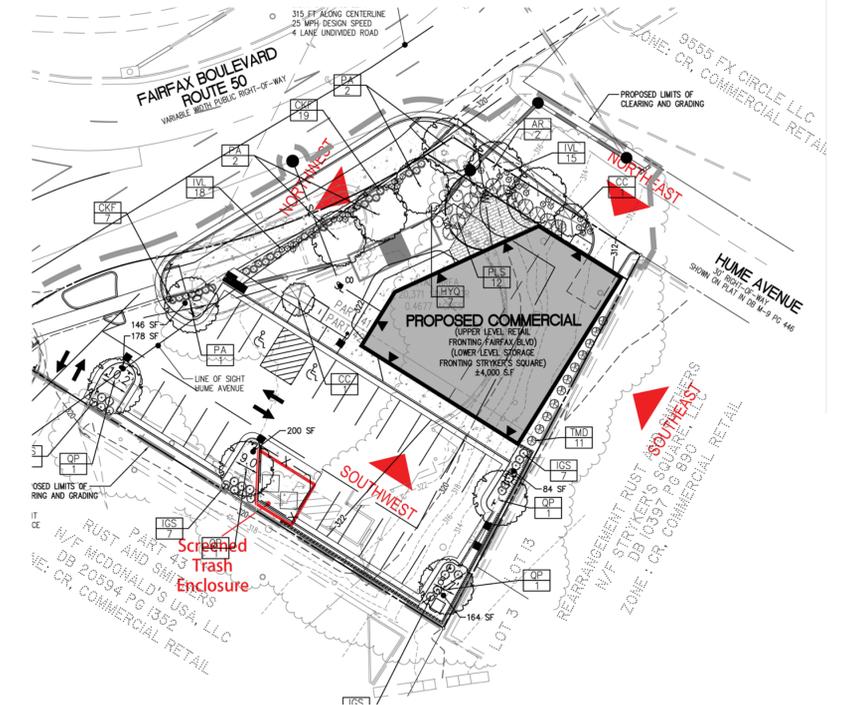
SOUTHWEST ELEVATION



SOUTHEAST ELEVATION



NORTHEAST ELEVATION





WD-1 SHERWIN-WILLIAMS SOLID STAINED WOOD 2X6 - OTTER

M-1 SHERMAN-WILLIAMS CHARCOAL FINISH

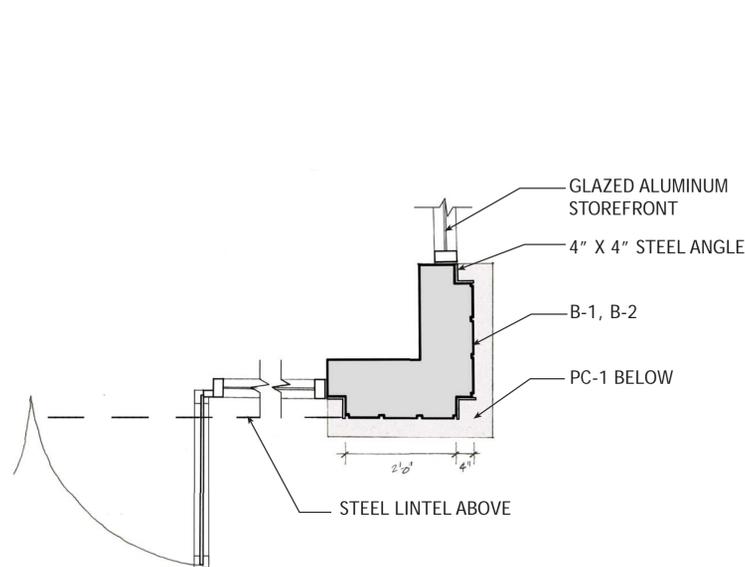
L-1 CONTECH WALL MOUNT LIGHTING FIXTURE - CY3

CMU-1 YORK BUILDING PRODUCTS SPLIT FACE - ARCTIC WHITE

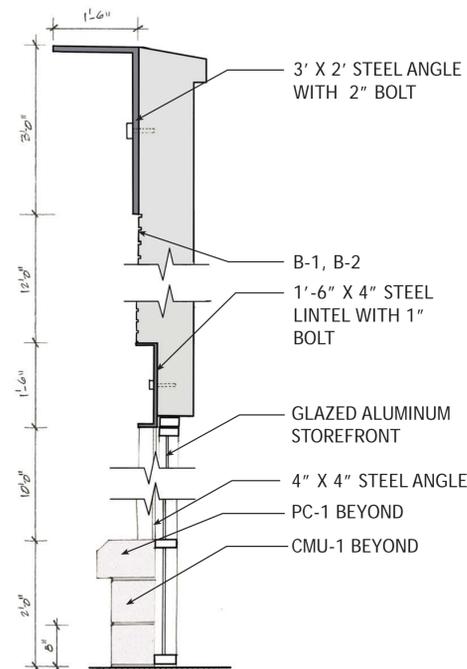
PC-1 PRECAST CONCRETE WATER COURSE

B-2 (ACCENT) TAYLOR BRICK AUTUMN BLEND #374

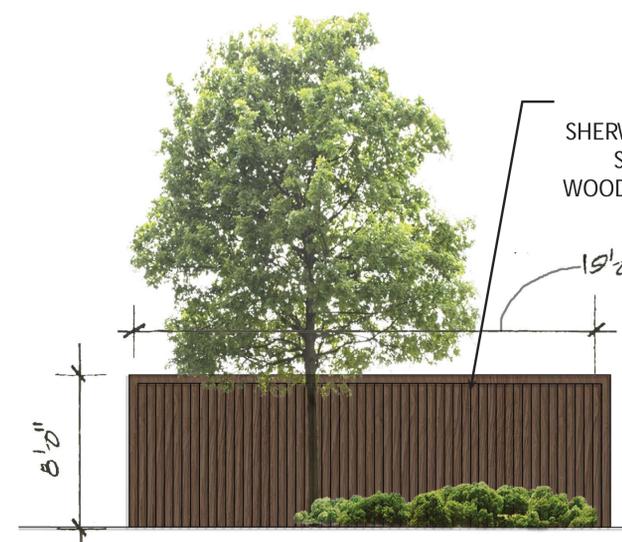
B-1 (FIELD) TAYLOR BRICK AUTUMN BLEND #369



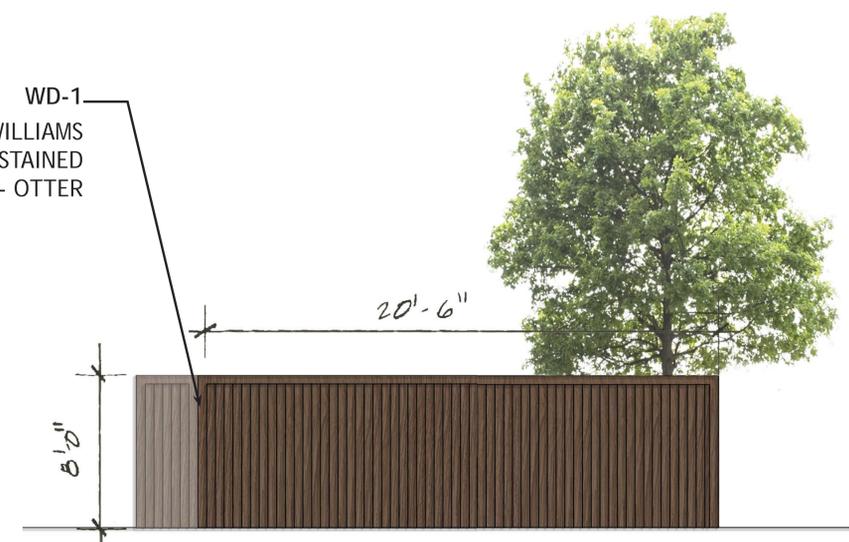
A PLAN VIEW AT CORNER OF STOREFRONT, TYP.
SCALE: 3/4" = 1' - 0"



B SECTION THROUGH STOREFRONT, TYP.
SCALE: 3/4" = 1' - 0"



C TRASH ENCLOSURE - NORTHWEST ELEVATION
SCALE: 1/8" = 1' - 0"



D TRASH ENCLOSURE - NORTHEAST ELEVATION
SCALE: 1/8" = 1' - 0"



RECEIVED

OCT 30 2019

Application #: 19-60769
Receipt #: 10816

Community Dev & Planning

LAND USE APPLICATION

- NON REFUNDABLE FEE -

Special Use Special Exception Variance Amendment Renewal

1. PROPERTY LOCATION INFORMATION

Property Address 9571 Fairfax Blvd Tax Map # 483 06 041

Project Name 9571 Fairfax Blvd Project Description Proposed Development of

4,000 sq. ft. retail building with 2,200 sq. ft. of lower level storage. The
Project requires 7 Special Exceptions and ~~1~~ ^{Proposes} ~~modification~~ ^{PFM}
Modification with respect to loading.

2. APPLICANT or AUTHORIZED AGENT INFORMATION (check as appropriate)

Applicant Name 9571 Fairfax Boulevard, LLC (circle one): Corporation / Gen Partnership / Ltd Partnership / Sole Proprietorship / Individual

Applicant Address The Maven Group, 4905 Del Ray Ave, Suite 200, Bethesda, MD 20814

Phone (o) 301-656-1456 (c) 301-528-5555 Email Stuart.Schoole@themavengroup.us

Applicant or Authorized Agent Signature Stuart Schoole

Relationship to project (circle one): Property owner / Contract purchaser / Lessee / Agent

3. APPLICANT CERTIFICATION STATEMENT Section 110-6.2.3

I certify that I have read and understand my application to comply with Zoning Ordinance Section 6.2.3 which states that an application shall be sufficient for processing when it contains all of the information necessary to decide whether or not the development as proposed will comply with the applicable requirements of this chapter; that the burden of demonstrating that an application complies with applicable review and approval criteria is on the applicant; that each application is unique and, therefore, more or less information may be required according to the needs of the particular case; that staff has the flexibility to specify submission requirements for each application and to waive requirements as appropriate; and that the applicant shall rely on the review official as to whether more or less information should be submitted.

Applicant or Authorized Agent Signature (REQUIRED) Stuart Schoole Date 9/24/2019

4. ENGINEER, ARCHITECT, SURVEYOR or LANDSCAPE ARCHITECT (Same as Applicant)

Licensed Professional's Name Aaron ~~Unson~~ Unson, Walter Phillips Engineering

Licensed Professional's Address 207 Park Ave, Falls Church, VA 22046

Phone (o) 703-532-463 (c) 703-798-4650 Email aunson@wlpinc.com

OFFICE USE ONLY

Current status of business license and fees
Treasurer: 9571 Fairfax Blvd LLC has no amt due/past due. No current taxes due

Commissioner of Revenue: 9571 Fairfax Boulevard LLC has met the

filing requirements of this office. Lucia kept they 11-8-19 rev. 01132017

at 11/7/19
Gordon M. Wilson



RECEIVED

OCT 30 2019

Application #: 19-00769
Receipt #: 10816

APPLICANT AUTHORIZATION LETTER
(Signed by property owner/s)

To Whom IT May Concern:

I/~~We~~, 9571 Fairfax Boulevard, LLC, the undersigned title owner(s) of the property identified

below do hereby authorize Stuart D. Schaefer of

4905 Del Ray Ave, Suite 200, Bethesda, MD 20814, to act on my/our behalf in the furtherance of an application

for a Special Exception(s) on my/our property located at:

9571 Fairfax Blvd, Fairfax, VA

Tax Map No: 483 06 041

Thank you in advance for your cooperation.

Date: 9/24/2019

By: Stuart Schaefer

COMMONWEALTH/STATE OF: Maryland

CITY/COUNTY: Montgomery, TO WIT:

The forgoing instrument was acknowledged before me this 24th day of September.

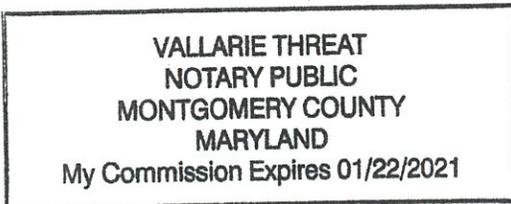
20 19, by Stuart Schaefer.

Vallarie Threat
Notary Public (Signature)

AFFIX NOTARY SEAL/STAMP

Notary Registration No: _____

My Commission Expires: 1/22/2021



ALL TITLE OWNERS MUST SIGN IN PRESENCE OF NOTARY. IF THERE IS MORE THAN ONE TITLE OWNER, FILL OUT MULTIPLE APPLICATIONS.



RECEIVED

OCT 30 2019

AGENT

Application #: 19-00769
Receipt #: 10816

Community Dev & Planning

~~APPLICANT~~ AUTHORIZATION LETTER

(Signed by property owner/s)

To Whom IT May Concern:

I/We, 9571 Fairfax Boulevard, LLC, the undersigned title owner(s) of the property identified

below do hereby authorize Stuart D. Schooler of

4905 Del Ray Avenue, Ste 200, Bethesda, MD 20814, to act on my/our behalf in the furtherance of an application

for a Special Exception on my/our property located at:

9571 Fairfax Boulevard, Fairfax, VA

Tax Map No: 483 06 041

Thank you in advance for your cooperation.

Date: 10/17/2019

By: [Signature]
Stuart D. Schooler - Manager of 9571 Fairfax Blvd, LLC

COMMONWEALTH/STATE OF: Maryland

CITY/COUNTY: Montgomery, TO WIT:

The forgoing instrument was acknowledged before me this 17th day of October.

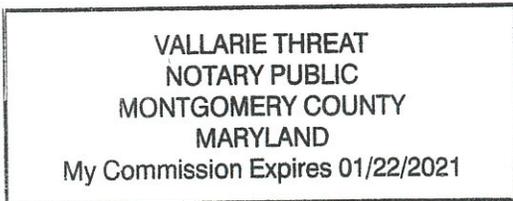
20 19, by Stuart D Schooler.

[Signature]
Notary Public (Signature)

AFFIX NOTARY SEAL/STAMP

Notary Registration No: _____

My Commission Expires: 1/22/2021



ALL TITLE OWNERS MUST SIGN IN PRESENCE OF NOTARY. IF THERE IS MORE THAN ONE TITLE OWNER, FILL OUT MULTIPLE APPLICATIONS.

OCT 30 2019

**AFFIDAVIT
CITY OF FAIRFAX**

Community Dev & Planning

I, Applicant, Stuart D. Schooler, do hereby make oath or affirmation that I am an applicant in Application Number 19-00769 and that to the best of my knowledge and belief, the following information is true:

1. (a) That the following is a list of names and addresses of all applicants, title owners, contract purchasers, and lessees of the property described in the application, and if any of the foregoing is a trustee, each beneficiary having an interest in such land, and all attorneys, real estate brokers, architects, engineers, planners, surveyors, and all other agents who have acted on behalf of any of the foregoing with respect to the application.
 - (Owner) 9571 Fairfax Blvd, LLC; 4905 Del Ray Avenue, Ste 200, Bethesda, MD 20814
 - (Engineer) Aaron Vinson, Walter Phillips Engineering, 207 Park Avenue, Falls Church, VA 22046
 - (Applicant) Stuart D. Schooler, c/o The Maven Group, 8101 Glenbrook Road, Ste B, Bethesda, MD 20814
2. That 9571 Fairfax, LLC is comprised entirely of the following entities, each owning 50%:
 - (Limited Liability Shareholder) Maven 9571 Fairfax Boulevard, LLC; 4905 Del Ray Ave, Ste 200, Bethesda, MD 20814
 - (Limited Liability Shareholder) Greenhill Capital Investments, LLC; 4901 Fairmont Avenue, Ste 200, Bethesda, MD
3. That Maven 9571 Fairfax Boulevard, LLC is composed entirely of the following two parties, each owning 50%:
 - (Limited Liability Shareholder) Stuart D. Schooler, 8812 Transue Drive, Bethesda, MD 20817
 - (Limited Liability Shareholder) Wally's 2012, LLC, 4905 Del Ray Ave, Ste 200, Bethesda, MD 20814
4. That Wally's 2012, LLC is composed entirely of:
 - (Limited Liability Shareholder) Warren Teitelbaum, 1 Little Harbor Way, Annapolis, MD 21403, owns 5%
 - (Limited Liability Shareholder) Teitelbaum GST Exempt Family Bank Trust, 8101 Glenbrook Road, Ste B, Bethesda, MD 20814, owns 95%.
5. That Teitelbaum GST Exempt Family Bank Trust is composed entirely of the following parties:
 - (Trustee) Warren Teitelbaum, 1 Little Harbor Way, Annapolis, MD 21403
 - (Beneficiary) David Teitelbaum, 13329 Green Gate Lane, Amissville, VA 20106
 - (Beneficiary) Brian T Teitelbaum, 13329 Green Gate Lane, Amissville, VA 20106
 - (Beneficiary) Eric T. Teitelbaum, 13329 Green Gate Lane, Amissville, VA 20106
 - (Beneficiary) Jason T. Teitelbaum, 1 Little Harbor Way, Annapolis, MD 21403
 - (Beneficiary) Luciana T. Teitelbaum, 1 Little Harbor Way, Annapolis, MD 21403

- (Beneficiary) Stacy Sonifrank, 13238 Scotts Hill Road, Culpepper, VA 22701
6. That Greenhill Capital Investments, LLC is comprised entirely of the following parties:
- (Limited Liability Shareholder) Leonard A Greenberg Family Trust (2000), 4901 Fairmont Avenue, Ste 200, Bethesda, MD 20814, owns 15.5%
 - (Limited Liability Shareholder) Richard S. Greenberg Multi-Generation Trust (2011), 4901 Fairmont Avenue, Ste 200, Bethesda, MD 20814, owns 10%
 - (Limited Liability Shareholder) Wendi H. Sager Multi-Generation Trust (2011), 4901 Fairmont Avenue, Ste 200, Bethesda, MD 20814, owns 10%
 - (Limited Liability Shareholder) G2 Investments, LLC, 4901 Fairmont Avenue, Ste 200, Bethesda, MD 20814, owns 29%
 - (Limited Liability Shareholder) Linda K. Greenberg, 4821 Montgomery Lane, Bethesda, MD 20814, owns 15.5%
 - (Limited Liability Shareholder) Greenberg Family, LP, 4901 Fairmont Avenue, Ste 200, Bethesda, MD 20814, owns 20%
7. That Leonard A. Greenberg Family Trust (2000) is comprised entirely of the following:
- (Trustee) Leonard A. Greenberg, 4821 Montgomery Lane, Bethesda, MD 20814
 - (Beneficiary) Richard S. Greenberg, 6200 Landon Lane, Bethesda, MD 20817
 - (Beneficiary) Wendi H. Sager, 5700 Trafton Place, Bethesda, MD 20817
8. That Richard S. Greenberg Multi-Generation Trust is comprised entirely of:
- (Trustee) Richard S. Greenberg, 6200 Landon Lane, Bethesda, MD 20817
 - (Beneficiary) Samuel Greenberg, 6200 Landon Lane, Bethesda, MD 20817
 - (Beneficiary) Abigail Greenberg, 6200 Landon Lane, Bethesda, MD 20817
9. That Wendi H. Sager Multi-Generation Trust is comprised entirely of:
- (Trustee) Wendi H. Sager, 5700 Trafton Place, Bethesda, MD 20817
 - (Beneficiary) Josh Sager, 5700 Trafton Place, Bethesda, MD 20817
 - (Beneficiary) Ben Sager, 5700 Trafton Place, Bethesda, MD 20817
 - (Beneficiary) Daniel Sager, 5700 Trafton Place, Bethesda, MD 20817
10. That G2 Investments, LLC is comprised entirely of the following:
- (Limited Liability Shareholder) Joshua Hank Sager Trust (2002), 4901 Fairmont Ave, Ste 200, Bethesda, MD 20814, owns 20%
 - (Limited Liability Shareholder) Benjamin Steven Sager Trust (2004), 4901 Fairmont Ave, Ste 200, Bethesda, MD 20814, owns 20%
 - (Limited Liability Shareholder) Daniel Ryan Sager Trust (2006), 4901 Fairmont Ave, Ste 200, Bethesda, MD 20814, owns 20%
 - (Limited Liability Shareholder) Samuel David Greenberg Trust (2004), 4901 Fairmont Avenue, Ste 200, Bethesda, MD 20814, owns 20%
 - (Limited Liability Shareholder) Abigail Sophie Greenberg Trust (2006), 4901 Fairmont Ave, Ste 200, Bethesda, MD 20814, owns 20%

11. That Joshua Hank Sager Trust (2002) is comprised of:
 - (Trustee) Wendi H. Sager, 5700 Trafton Place, Bethesda, MD 20817
 - (Beneficiary) Josh Sager, 5700 Trafton Place, Bethesda, MD 20817

12. That Benjamin Steven Sager Trust (2004) is comprised of:
 - (Trustee) Wendi H. Sager, 5700 Trafton Place, Bethesda, MD 20817
 - (Beneficiary) Ben Sager, 5700 Trafton Place, Bethesda, MD 20817

13. That Daniel Ryan Sager Trust (2006) is comprised of:
 - (Trustee) Wendi H. Sager, 5700 Trafton Place, Bethesda, MD 20817
 - (Beneficiary) Daniel Sager, 5700 Trafton Place, Bethesda, MD 20817

14. That Samuel David Greenberg Trust (2004) is comprised of:
 - (Trustee) Richard S. Greenberg, 6200 Landon Lane, Bethesda, MD 20817
 - (Beneficiary) Samuel Greenberg, 6200 Landon Lane, Bethesda, MD 20817

15. That Abigail Sophie Greenberg Trust (2006) is comprised of:
 - (Trustee) Richard S. Greenberg, 6200 Landon Lane, Bethesda, MD 20817
 - (Beneficiary) Abigail Greenberg, 6200 Landon Lane, Bethesda, MD 20817

16. That the Greenberg Family, LP is comprised entirely of the following limited partners:
 - (Limited Partner) Leonard A. Greenberg Family Trust (2000), 4901 Fairmont Ave, ste 200 Bethesda, MD 20814, owns 10%
 - (Limited Partner) Sager Family Trust (2004), 4901 Fairmont Ave, Ste 200, Bethesda, MD 20814, owns 20%
 - (Limited Partner) Richard S. Greenberg Multi-Generation Trust (2011), 4901 Fairmont Ave, Ste 200, Bethesda, Md 20814, owns 29.50%
 - (Limited Partner) Richard and Amy Greenberg Family Trust (2006), 4901 Fairmont Ave, Ste 200, Bethesda, MD 20814, owns 20%
 - (Limited Partner) Wendi H. Sager Multi-Generation Trust (2011), 4901 Fairmont Ave, Ste 200, Bethesda, MD 20814, owns 29.50%

17. That the Sager Family Trust (2004) is comprised of:
 - (Trustee) Stuart Schooler, 8812 Transue Drive, Bethesda, MD 20817
 - (Beneficiary) Wendi H. Sager, 5700 Trafton Place, Bethesda, MD 20817
 - (Beneficiary) Jeff Sager, 5700 Trafton Place, Bethesda, MD 20817
 - (Beneficiary) Josh Sager, 5700 Trafton Place, Bethesda, MD 20817
 - (Beneficiary) Ben Sager, 5700 Trafton Place, Bethesda, MD 20817
 - (Beneficiary) Daniel Sager, 5700 Trafton Place, Bethesda, MD 20817

18. That the Richard and Amy Greenberg Family Trust (2006) is comprised of:

- (Trustee) Stuart Schooler, 8812 Transue Drive, Bethesda, MD 20817
- (Beneficiary) Richard Greenberg, 6200 Landon Lane, Bethesda, MD 20817
- (Beneficiary) Amy Greenberg, 6200 Landon Lane, Bethesda, MD 20817
- (Beneficiary) Samuel Greenberg, 6200 Landon Lane, Bethesda, MD 20817
- (Beneficiary) Abigail Greenberg, 6200 Landon Lane, Bethesda, MD 20817

19. That neither the Mayor nor any member of the City Council, Planning Commission, BZA or BAR has any interest in the outcome of the decision. EXCEPT AS FOLLOWS:

- NONE

20. That within five (5) years prior to the filing of this application, neither the Mayor nor any member of the City Council, Mayor, Planning Commission, BZA, or BAR or any member of his or her immediate household and family, either directly or by way of a corporation or a partnership in which anyone of them is an officer, director, employee, agent, attorney, or investor has received any gift or political contribution in excess of \$100 from any person or entity listed in Sections 1 through 18. EXCEPT AS FOLLOWS:

- NONE

WITNESS the following signature:

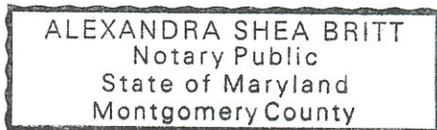

Applicant- Stuart D. Schooler

ALL APPLICANTS MUST SIGN AND HAVE THEIR SIGNATURES NOTARIZED.

The above affidavit was subscribed and confirmed by oath or affirmation before me on this 25 day of September, 2019, in the State of Maryland.

My commission expires: January 26, 2021


Notary Public Registration #



AFFIDAVIT

I hereby affirm that the City has adequately complied with the written notification procedures defined in §15.2-2204 (amended) of the Code of Virginia and §110-6.2.5.B.2 of the Code of the City of Fairfax, Virginia. These notices were sent by first-class mail on May 15, 2020, to the last known address of each abutting property owner (including those located across rights-of-way) shown in the current real estate tax assessment records. A list of these addresses is attached and their accuracy as of May 11, 2020, is certified by the City Real Estate Assessor.

A copy of the notice, pertaining to date, time and location of the City Council meeting for a Special Exception for property located at 9571 Fairfax Boulevard and more particularly described as Tax Map Parcel 48-3-06-041, is attached.



Director of Community
Development and Planning

Commonwealth of Virginia
City of Fairfax

Subscribed and sworn before me this 15 day of May, 2020,

 7632704
Notary Public

My commission expires: 11/30/23

ALEXIS DALLAHL EL-HAGE
NOTARY PUBLIC
REG. #7632704
COMMONWEALTH OF VIRGINIA
MY COMMISSION EXPIRES NOVEMBER 30, 2023



City of Fairfax, Virginia

10455 Armstrong Street · Fairfax, VA 22030-3630
703-385-7930 · www.fairfaxva.gov

May 15, 2020

Re: 9571 Fairfax Blvd

Dear Property Owner:

Current City real estate records indicate that you are the owner of land near or adjacent to the property which is the subject of the above-referenced application. Pursuant to City Code Section 110-6.B.2 **you are hereby notified that the City Council at its meeting on Tuesday, May 26, 2020 at 7:00 p.m. in City Hall Annex, Room 100, 10455 Armstrong Street, will hold a public hearing to consider the following:**

SE-19-00769 and BAR 19-00789

Request from 9571 Fairfax Blvd LLC, applicant, by Stuart D. Schooler, agent, for consideration of a Special Exception pursuant to City Code Section 110-6.17 from the required minimum interior side yard setback per Section 3.6, a Special Exception pursuant to City Code Section 110-6.17 from the required minimum street side yard setback per Section 3.6, a Special Exception pursuant to City Code Section 110-6.17 from the requirement to provide a sidewalk along a street per Section 4.4.4, a Special Exception pursuant to City Code Section 110-6.17 from meeting landscape strip and street tree requirements along streets per Section 4.5.6, a Special Exception pursuant to City Code Section 110-6.17 from the parking lot landscape islands minimum size and spacing requirements per Section 4.5.7, a Special Exception pursuant to City Code Section 110-6.17 from the minimum number of parking spaces required per Section 4.2.3, and a major certificate of appropriateness on the premises known as 9571 Fairfax Boulevard and more particularly described as Tax Map Parcel 48-3-06-041.

You are entitled to speak at the public hearing, or you may submit written testimony. The public hearing will be broadcast on Channel 12 and on the city's website at <https://www.fairfaxva.gov/services/about-us/city-meetings>. Testimony may be submitted by email to publichearing@fairfaxva.gov, through Connect2 via the homepage, <https://www.fairfaxva.gov>, or by calling in at 571-282-3524 during the meeting. All reports will be available five (5) days prior to the meeting date on the City of Fairfax webpage at www.fairfaxva.gov.

If you have questions regarding the application, please call the Zoning Office at 703-385-7820.

Sincerely,

Tommy Scibilia

Tommy Scibilia
Planner II

cc: Jason Sutphin



City of Fairfax, Virginia

10455 Armstrong Street · Fairfax, VA 22030-3630
703-385-7930 · www.fairfaxva.gov

May 15, 2020

Barbara Byron
Planning Division
Fairfax County Dept. of Planning and Development
12055 Government Center Pkwy, Suite 730
Fairfax, Virginia 22035

Re: 9571 Fairfax Blvd

Pursuant to Section 15.2-2204 (amended) of the Code of Virginia, enclosed is the legal notification for the above-referenced application. For additional information, please call the Department of Community Development and Planning at 703-385-7820 or Alexis El-Hage at alexis.el-hage@fairfaxva.gov

Sincerely,

Tommy Scibilia
Planner II

Enclosure

NOTICE OF PUBLIC HEARING
CITY OF FAIRFAX, VIRGINIA

Notice is hereby given that the City Council of the City of Fairfax at its regular meeting on Tuesday, May 26, 2020 at 7:00 p.m. will consider the following:

SE-19-00769 and BAR 19-00789

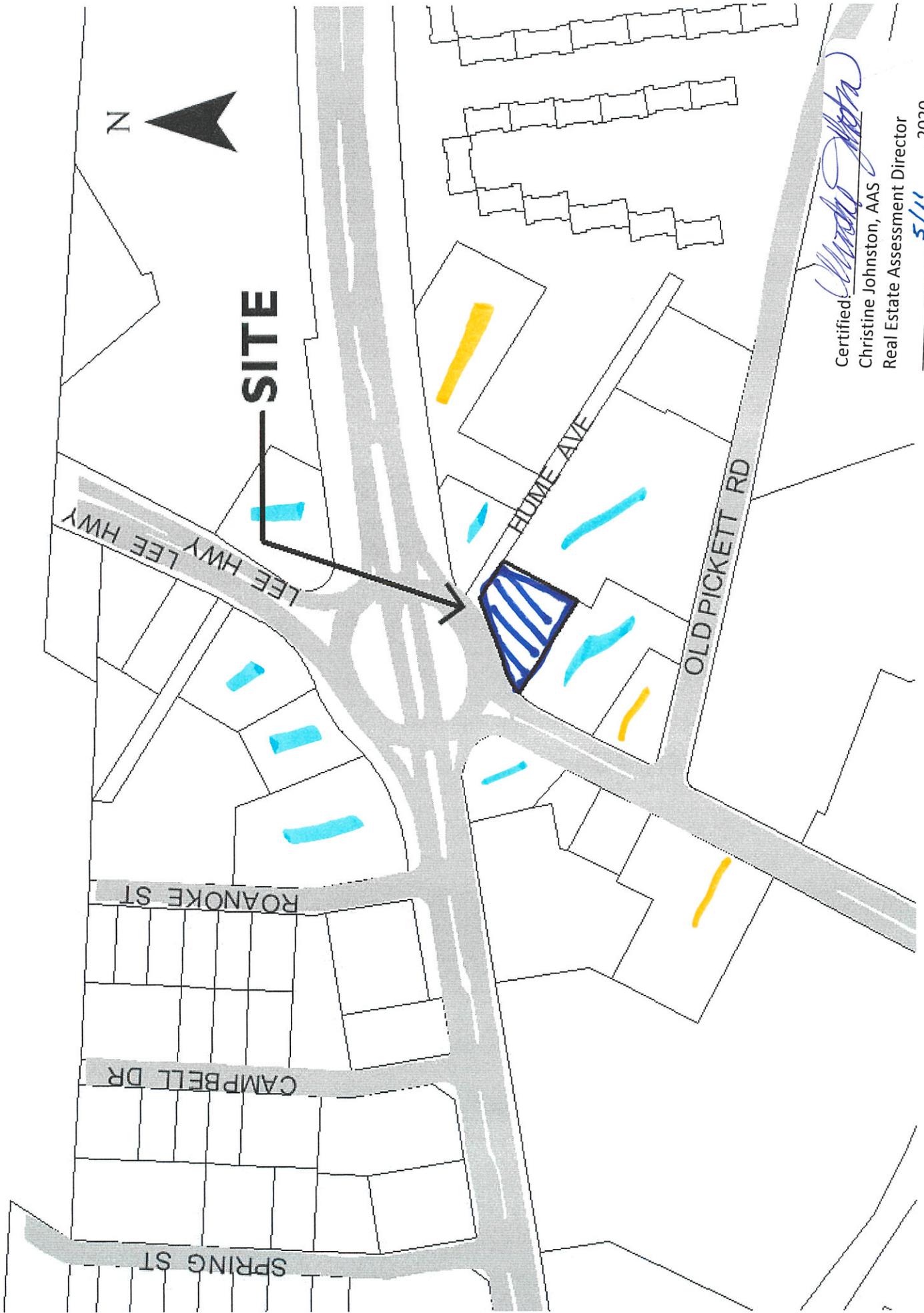
Request from 9571 Fairfax Blvd LLC, applicant, by Stuart D. Schooler, agent, for consideration of a Special Exception pursuant to City Code Section 110-6.17 from the required minimum interior side yard setback per Section 3.6, a Special Exception pursuant to City Code Section 110-6.17 from the required minimum street side yard setback per Section 3.6, a Special Exception pursuant to City Code Section 110-6.17 from the requirement to provide a sidewalk along a street per Section 4.4.4, a Special Exception pursuant to City Code Section 110-6.17 from meeting landscape strip and street tree requirements along streets per Section 4.5.6, a Special Exception pursuant to City Code Section 110-6.17 from the parking lot landscape islands minimum size and spacing requirements per Section 4.5.7, a Special Exception pursuant to City Code Section 110-6.17 from the minimum number of parking spaces required per Section 4.2.3, and a major certificate of appropriateness on the premises known as 9571 Fairfax Boulevard and more particularly described as Tax Map Parcel 48-3-06-041.

All interested parties are invited to watch the public hearings on Channel 12 and on the city's website at <https://www.fairfaxva.gov/services/about-us/city-meetings>, and may express their views by submitting an email to publichearing@fairfaxva.gov, through Connect2 via the homepage, <https://www.fairfaxva.gov>, or by calling in at 571-282-3524 during the meeting. All reports will be available five (5) days prior to the meeting date on the City of Fairfax webpage at www.fairfaxva.gov.

Melanie Crowder, City Clerk

May 8, 2020

May 15, 2020



Certified: *Christine Johnston*
Christine Johnston, AAS
Real Estate Assessment Director

5/11, 2020

MCDONALDS USA LLC
LC-045-0069
PO BOX 220625
CHANTILLY VA 20153

STRYKERS RETAIL CENTER LLC
C/O BERNSTEIN MANAGEMENT GROUP
2095 CHAIN BRIDGE RD 2ND FLOOR
VIENNA VA 22182

9555 FX CIRCLE LLC
1304 SALUJA HILL CT
MCLEAN VA 22102

RAJ K KAPPOR
8153 OLD BARRINGTON BLVD
FAIRFAX STATION VA 22039

MARGARET S.F. DAVENPORT LLC
C/O DUNKIN BRANDS – MS 3WB
130 ROYAL ST #100 PC 306136
CANTON MA 02021

FARRISH REALTY LP
C/O MARILYN FARRISH
1035 RAINBOW CT
BRADENTON FL 34212

NW & ESTATES LLC
9590 LEE HWY
FAIRFAX VA 22031

SANOY LLC
PO BOX 3804
FAIRFAX VA 22038

DEGEN-FAIRFAX LLC
1716 HIGHLAND RD
FREDERICKSBURG VA 22401

RHEES FAIRFAX LLC
7461 COCA COLA DR
HANOVER MD 21076

Fairfax Oaks HOA
Mr. Tom Casey
9608 Ridge Avenue
Fairfax, VA 22030

Foxcroft Colony Condominium
Mr. Bruce Long
9483-A Fairfax Boulevard
Fairfax, VA 22031

Great Oak HOA
Mr. Iain Williamson
9935 Great Oaks Way
Fairfax, VA 22030

NICK CAINE
DIRECTOR OF MARKET RESEARCH
1029 NORTH ROYAL STREET STE 301
ALEXANDRIA VA 22314

BARBRA BYRON
PLANNING DIVISION
FAIRFAX COUNTY PLANNING
12055 GOVERNMENT CENTER PKWY, 730
FAIRFAX VA 22030

Unofficial Property Record Card - Fairfax, VA

General Property Data

| | |
|----------------------------------|--|
| Parcel ID 48 3 06 043 | Account Number 54504 |
| Property Owner MCDONALDS USA LLC | Property Location 3195 OLD LEE HWY FAIRFAX |
| LC-045-0069 | Property Use |
| Mailing Address P O BOX 220625 | Most Recent Sale Date 7/14/2009 |
| City CHANTILLY | Legal Reference 20594-1352 |
| Mailing State VA Zip 20153 | Grantor RAPHLING LOIS S ETAL |
| ParcelZoning Commercial Retail | Sale Price 486,919 |
| Tax Exempt No | Land Area 0.944 acres |
| | Type Invalid Sale - Comm. |

Current Property Assessment

| | | | |
|--------------|----------------------|------------------------|-----------------------|
| Card 1 Value | Land Value 1,851,200 | Building Value 160,400 | Total Value 2,011,600 |
|--------------|----------------------|------------------------|-----------------------|

Building Description

| | | |
|-----------------------------------|---------------------|---------------------|
| Building Style FAST FOOD | # of Living Units 0 | Flooring Type N/A |
| Year Built 1970 | Roof Structure N/A | Heating Type N/A |
| Building Grade Average | Roof Cover N/A | Heating Fuel N/A |
| Building Condition N/A | Siding N/A | Air Conditioning 0% |
| Above Grade Floor Area (SF) 3,240 | Interior Walls N/A | # of Fireplaces 0 |
| Total Floor Area (SF) 3,240 | # of Bedrooms 0 | # of Full Baths 0 |
| Number Rooms 0 | # of 1/2 Baths 0 | |

Utilites Information

| | |
|-------|--------------|
| Water | Public Water |
| Sewer | Public Sewer |

Legal Description

RUST, SMITHERS, TANNER LTS 1,2 3,44,PT 43-41138 SF 5698-730

Narrative Description of Property

This property contains 0.944 acres of land mainly classified as with a(n) FAST FOOD style building, built about 1970 , having N/A exterior and N/A roof cover, with 0 commercial unit(s) and 0 residential unit(s), 0 room(s), 0 bedroom(s), 0 bath(s), 0 half bath(s).

Disclaimer/Privacy Policy

Under Virginia State law these records are public information. Display of this information on the internet is specifically authorized by Va. Code 58.1-3122.2 (1998). See the [Virginia State Code](#) to read the pertinent enabling statute. Owner names will be withheld from the Internet record upon request.

While the City of Fairfax has attempted to ensure that the data contained in this file and displayed on this site is accurate and reflects the property's characteristics, the City of Fairfax makes no warranties, express or implied, concerning the accuracy, completeness, reliability, or suitability of this data. The City of Fairfax does not assume any liability associated with the use or misuse of this data.

Unofficial Property Record Card - Fairfax, VA

General Property Data

| | |
|--|---|
| Parcel ID 48 3 07 003 | Account Number 31814 |
| Property Owner STRYKERS RETAIL CENTER, LLC C/O BERNSTEIN MANAGEMENT GROUP | Property Location 3210 OLD PICKETT RD FAIRFAX |
| Mailing Address 2095 CHAIN BRIDGE RD 2ND FLOOR | Property Use |
| City VIENNA | Most Recent Sale Date 11/1/2013 |
| Mailing State VA Zip 22182 | Legal Reference 23451-1104 |
| Parcel/Zoning Commercial Retail | Grantor STRYKER'S SQUARE LLC |
| Tax Exempt No | Sale Price 4,700,000 |
| | Land Area 2.257 acres |
| | Type Commercial-General |

Current Property Assessment

| | | | |
|--------------|----------------------|--------------------------|-----------------------|
| Card 1 Value | Land Value 3,932,200 | Building Value 2,563,000 | Total Value 6,495,200 |
|--------------|----------------------|--------------------------|-----------------------|

Building Description

| | | |
|------------------------------------|---------------------|---------------------|
| Building Style SHOP CTR | # of Living Units 0 | Flooring Type N/A |
| Year Built 1972 | Roof Structure N/A | Heating Type N/A |
| Building Grade Average | Roof Cover N/A | Heating Fuel N/A |
| Building Condition N/A | Siding Stucco/Alum | Air Conditioning 0% |
| Above Grade Floor Area (SF) 24,220 | Interior Walls N/A | # of Fireplaces 0 |
| Total Floor Area (SF) 24,220 | # of Bedrooms 0 | # of Full Baths 0 |
| Number Rooms 0 | # of 1/2 Baths 0 | |

Utilities Information

| | |
|-------|--------------|
| Water | Public Water |
| Sewer | Public Sewer |

Legal Description

TANNERS, SMITHERS RUST LTS 3,4 5,6,10-13-98306 SF 4141-214

Narrative Description of Property

This property contains 2.257 acres of land mainly classified as with a(n) SHOP CTR style building, built about 1972, having Stucco/Alum exterior and N/A roof cover, with 0 commercial unit(s) and 0 residential unit(s), 0 room(s), 0 bedroom(s), 0 bath(s), 0 half bath(s).

Disclaimer/Privacy Policy

Under Virginia State law these records are public information. Display of this information on the internet is specifically authorized by Va. Code 58.1-3122.2 (1998). See the [Virginia State Code](#) to read the pertinent enabling statute. Owner names will be withheld from the Internet record upon request.

While the City of Fairfax has attempted to ensure that the data contained in this file and displayed on this site is accurate and reflects the property's characteristics, the City of Fairfax makes no warranties, express or implied, concerning the accuracy, completeness, reliability, or suitability of this data. The City of Fairfax does not assume any liability associated with the use or misuse of this data.

Unofficial Property Record Card - Fairfax, VA

General Property Data

| | |
|-------------------------------------|---|
| Parcel ID 48 3 06 025 | Account Number 17894 |
| Property Owner 9555 FX CIRCLE LLC | Property Location 9555 FAIRFAX BLVD FAIRFAX |
| Mailing Address 1304 SALUJA HILL CT | Property Use |
| City MCLEAN | Most Recent Sale Date 11/19/2010 |
| Mailing State VA Zip 22102 | Legal Reference 21379-2010 |
| ParcelZoning Commercial Retail | Grantor SALUJA ASCHARJ L |
| Tax Exempt No | Sale Price 0 |
| | Land Area 0.372 acres |
| | Type No Consideration |

Current Property Assessment

| | | | |
|--------------|--------------------|------------------------|-----------------------|
| Card 1 Value | Land Value 892,000 | Building Value 243,300 | Total Value 1,135,300 |
|--------------|--------------------|------------------------|-----------------------|

Building Description

| | | |
|-----------------------------------|---------------------|---------------------|
| Building Style SERVICE ST | # of Living Units 0 | Flooring Type N/A |
| Year Built 1955 | Roof Structure N/A | Heating Type N/A |
| Building Grade Average | Roof Cover N/A | Heating Fuel N/A |
| Building Condition N/A | Siding Cind. Block | Air Conditioning 0% |
| Above Grade Floor Area (SF) 1,710 | Interior Walls N/A | # of Fireplaces 0 |
| Total Floor Area (SF) 1,710 | # of Bedrooms 0 | # of Full Baths 0 |
| Number Rooms 0 | # of 1/2 Baths 0 | |

Utilites Information

| | |
|-------|--------------|
| Water | Public Water |
| Sewer | Public Sewer |

Legal Description

RUST & SMITHERS PT LT 25,26 27 - 16218 SF 7700-438

Narrative Description of Property

This property contains 0.372 acres of land mainly classified as with a(n) SERVICE ST style building, built about 1955 , having Cind. Block exterior and N/A roof cover, with 0 commercial unit(s) and 0 residential unit(s), 0 room(s), 0 bedroom(s), 0 bath(s), 0 half bath(s).

Disclaimer/Privacy Policy

Under Virginia State law these records are public information. Display of this information on the internet is specifically authorized by Va. Code 58.1-3122.2 (1998). See the [Virginia State Code](#) to read the pertinent enabling statute. Owner names will be withheld from the Internet record upon request.

While the City of Fairfax has attempted to ensure that the data contained in this file and displayed on this site is accurate and reflects the property's characteristics, the City of Fairfax makes no warranties, express or implied, concerning the accuracy, completeness, reliability, or suitability of this data. The City of Fairfax does not assume any liability associated with the use or misuse of this data.

Unofficial Property Record Card - Fairfax, VA

General Property Data

| | |
|--|---|
| Parcel ID 48 3 08 001 B | Account Number 1863 |
| Property Owner KAPOOR RAJ K | Property Location 9605 FAIRFAX BLVD FAIRFAX |
| Mailing Address 8153 OLD BARRINGTON BLVD | Property Use |
| City FAIRFAX STATION | Most Recent Sale Date 4/24/1984 |
| Mailing State VA Zip 22039 | Legal Reference 6031-457 |
| ParcelZoning Commercial Retail | Grantor ATLANTIC REFINING CO |
| Tax Exempt No | Sale Price 195,000 |
| | Land Area 0.372 acres |
| | Type Commercial-General |

Current Property Assessment

| | | | |
|--------------|--------------------|------------------------|-----------------------|
| Card 1 Value | Land Value 891,800 | Building Value 243,200 | Total Value 1,135,000 |
|--------------|--------------------|------------------------|-----------------------|

Building Description

| | | |
|-----------------------------------|---------------------|---------------------|
| Building Style SERVICE ST | # of Living Units 0 | Flooring Type N/A |
| Year Built 1958 | Roof Structure N/A | Heating Type N/A |
| Building Grade Average | Roof Cover N/A | Heating Fuel N/A |
| Building Condition N/A | Siding Cind. Block | Air Conditioning 0% |
| Above Grade Floor Area (SF) 1,653 | Interior Walls N/A | # of Fireplaces 0 |
| Total Floor Area (SF) 1,653 | # of Bedrooms 0 | # of Full Baths 0 |
| Number Rooms 0 | # of 1/2 Baths 0 | |

Utilites Information

| | |
|-------|--------|
| Water | Public |
| | Water |
| Sewer | Public |
| | Sewer |

Legal Description

EAST FAIRFAX PARK SEC 2 PT LT 1-16214 SF 6031-457

Narrative Description of Property

This property contains 0.372 acres of land mainly classified as with a(n) SERVICE ST style building, built about 1958 , having Cind. Block exterior and N/A roof cover, with 0 commercial unit(s) and 0 residential unit(s), 0 room(s), 0 bedroom(s), 0 bath(s), 0 half bath(s).

Disclaimer/Privacy Policy

Under Virginia State law these records are public information. Display of this information on the internet is specifically authorized by Va. Code 58.1-3122.2 (1998). See the [Virginia State Code](#) to read the pertinent enabling statute. Owner names will be withheld from the Internet record upon request.

While the City of Fairfax has attempted to ensure that the data contained in this file and displayed on this site is accurate and reflects the property's characteristics, the City of Fairfax makes no warranties, express or implied, concerning the accuracy, completeness, reliability, or suitability of this data. The City of Fairfax does not assume any liability associated with the use or misuse of this data.

Unofficial Property Record Card - Fairfax, VA

General Property Data

| | |
|--|---|
| Parcel ID 48 3 06 006 A | Account Number 680831 |
| Property Owner MARGARET S.F. DAVENPORT LLC C/O DUNKIN BRANDS - MS 3WB | Property Location 9550 FAIRFAX BLVD FAIRFAX |
| Mailing Address 130 ROYALL ST-- # 100 -PC 306136 | Property Use |
| City CANTON | Most Recent Sale Date 5/26/2000 |
| Mailing State MA Zip 02021 | Legal Reference 11366-1307 |
| ParcelZoning Commercial Retail | Grantor FIFER CARSON LEE TR |
| Tax Exempt No | Sale Price 0 |
| | Land Area 0.758 acres |
| | Type Commercial-General |

Current Property Assessment

| | | | |
|--------------|----------------------|------------------------|-----------------------|
| Card 1 Value | Land Value 1,485,300 | Building Value 129,600 | Total Value 1,614,900 |
|--------------|----------------------|------------------------|-----------------------|

Building Description

| | | |
|-----------------------------------|------------------------|---------------------|
| Building Style FAST FOOD | # of Living Units 0 | Flooring Type N/A |
| Year Built 1987 | Roof Structure N/A | Heating Type N/A |
| Building Grade Good | Roof Cover N/A | Heating Fuel N/A |
| Building Condition N/A | Siding Brick | Air Conditioning 0% |
| Above Grade Floor Area (SF) 1,764 | Interior Walls Drywall | # of Fireplaces 0 |
| Total Floor Area (SF) 1,764 | # of Bedrooms 0 | # of Full Baths 0 |
| Number Rooms 0 | # of 1/2 Baths 0 | |

Utilites Information

| | |
|-------|--------------|
| Water | Public Water |
| Sewer | Public Sewer |

Legal Description

RUST & SMITHERS CONSOL PT LTS 6,21,22,23 - 33006 SF 9177-1334

Narrative Description of Property

This property contains 0.758 acres of land mainly classified as with a(n) FAST FOOD style building, built about 1987 , having Brick exterior and N/A roof cover, with 0 commercial unit(s) and 0 residential unit(s), 0 room(s), 0 bedroom(s), 0 bath(s), 0 half bath(s).

Disclaimer/Privacy Policy

Under Virginia State law these records are public information. Display of this information on the internet is specifically authorized by Va. Code 58.1-3122.2 (1998). See the [Virginia State Code](#) to read the pertinent enabling statute. Owner names will be withheld from the Internet record upon request.

While the City of Fairfax has attempted to ensure that the data contained in this file and displayed on this site is accurate and reflects the property's characteristics, the City of Fairfax makes no warranties, express or implied, concerning the accuracy, completeness, reliability, or suitability of this data. The City of Fairfax does not assume any liability associated with the use or misuse of this data.

Unofficial Property Record Card - Fairfax, VA

General Property Data

| | |
|---|---|
| Parcel ID 48 3 09 001 | Account Number 18624 |
| Property Owner FARRISH REALTY LP C/O MARILYN FARRISH | Property Location 9610 FAIRFAX BLVD FAIRFAX |
| Mailing Address 1035 RAINBOW CT | Property Use |
| City BRADENTON | Most Recent Sale Date 12/29/1994 |
| Mailing State FL Zip 34212 | Legal Reference 9323-424 |
| ParcelZoning Commercial Retail | Grantor FARRISH MARILYN H |
| Tax Exempt No | Sale Price 0 |
| | Land Area 1.326 acres |
| | Type Commercial Gift |

Current Property Assessment

| | | | |
|--------------|----------------------|--------------------------|-----------------------|
| Card 1 Value | Land Value 2,598,300 | Building Value 1,402,700 | Total Value 4,001,000 |
|--------------|----------------------|--------------------------|-----------------------|

Building Description

| | | |
|------------------------------------|------------------------|---------------------|
| Building Style AUTO DEALR | # of Living Units 0 | Flooring Type N/A |
| Year Built 1986 | Roof Structure N/A | Heating Type N/A |
| Building Grade Average | Roof Cover N/A | Heating Fuel N/A |
| Building Condition N/A | Siding Comb-Stucco/ | Air Conditioning 0% |
| Above Grade Floor Area (SF) 15,793 | Interior Walls Drywall | # of Fireplaces 0 |
| Total Floor Area (SF) 15,793 | # of Bedrooms 0 | # of Full Baths 0 |
| Number Rooms 0 | # of 1/2 Baths 0 | |

Utilites Information

| | |
|-------|--------------|
| Water | Public Water |
| Sewer | Public Sewer |

Legal Description

EAST FAIRFAX PARK PT LT 1 & LTS 2-6 - 57741 SF 9393-732

Narrative Description of Property

This property contains 1.326 acres of land mainly classified as with a(n) AUTO DEALR style building, built about 1986 , having Comb-Stucco/ exterior and N/A roof cover, with 0 commercial unit(s) and 0 residential unit(s), 0 room(s), 0 bedroom(s), 0 bath(s), 0 half bath(s).

Disclaimer/Privacy Policy

Under Virginia State law these records are public information. Display of this information on the internet is specifically authorized by Va. Code 58.1-3122.2 (1998). See the [Virginia State Code](#) to read the pertinent enabling statute. Owner names will be withheld from the Internet record upon request.

While the City of Fairfax has attempted to ensure that the data contained in this file and displayed on this site is accurate and reflects the property's characteristics, the City of Fairfax makes no warranties, express or implied, concerning the accuracy, completeness, reliability, or suitability of this data. The City of Fairfax does not assume any liability associated with the use or misuse of this data.

Unofficial Property Record Card - Fairfax, VA

General Property Data

| | |
|---|---|
| Parcel ID 48 3 09 001 B | Account Number 18124 |
| Property Owner FARRISH REALTY LP C/O MARILYN FARRISH | Property Location 9596 FAIRFAX BLVD FAIRFAX |
| Mailing Address 1035 RAINBOW CT | Property Use |
| City BRADENTON | Most Recent Sale Date 12/29/1994 |
| Mailing State FL Zip 34212 | Legal Reference 9323-424 |
| ParcelZoning Commercial Retail | Grantor FARRISH MARILYN H |
| Tax Exempt No | Sale Price 0 |
| | Land Area 0.505 acres |
| | Type Commercial Gift |

Current Property Assessment

| | | | |
|--------------|--------------------|------------------------|-----------------------|
| Card 1 Value | Land Value 990,000 | Building Value 557,300 | Total Value 1,547,300 |
|--------------|--------------------|------------------------|-----------------------|

Building Description

| | | |
|-----------------------------------|------------------------|---------------------|
| Building Style AUTO DEALR | # of Living Units 0 | Flooring Type N/A |
| Year Built 1996 | Roof Structure N/A | Heating Type N/A |
| Building Grade Good | Roof Cover N/A | Heating Fuel N/A |
| Building Condition N/A | Siding Stucco/Alum | Air Conditioning 0% |
| Above Grade Floor Area (SF) 5,062 | Interior Walls Drywall | # of Fireplaces 0 |
| Total Floor Area (SF) 5,062 | # of Bedrooms 0 | # of Full Baths 0 |
| Number Rooms 0 | # of 1/2 Baths 3 | |

Utilities Information

| | |
|-------|--------------|
| Water | Public Water |
| Sewer | Public Sewer |

Legal Description

EAST FAIRFAX PARK PT LT 1-22000 SF 9393-732

Narrative Description of Property

This property contains 0.505 acres of land mainly classified as with a(n) AUTO DEALR style building, built about 1996 , having Stucco/Alum exterior and N/A roof cover, with 0 commercial unit(s) and 0 residential unit(s), 0 room(s), 0 bedroom(s), 0 bath(s), 3 half bath(s).

Disclaimer/Privacy Policy

Under Virginia State law these records are public information. Display of this information on the internet is specifically authorized by Va. Code 58.1-3122.2 (1998). See the [Virginia State Code](#) to read the pertinent enabling statute. Owner names will be withheld from the Internet record upon request.

While the City of Fairfax has attempted to ensure that the data contained in this file and displayed on this site is accurate and reflects the property's characteristics, the City of Fairfax makes no warranties, express or implied, concerning the accuracy, completeness, reliability, or suitability of this data. The City of Fairfax does not assume any liability associated with the use or misuse of this data.

Unofficial Property Record Card - Fairfax, VA

General Property Data

| | |
|----------------------------------|--|
| Parcel ID 48 3 09 001 D | Account Number 64540 |
| Property Owner NW & ESTATES, LLC | Property Location 9590 LEE HWY FAIRFAX |
| Mailing Address 9590 LEE HIGHWAY | Property Use |
| City FAIRFAX | Most Recent Sale Date 1/23/2019 |
| Mailing State VA Zip 22031 | Legal Reference 25641-2096 |
| ParcelZoning Commercial Retail | Grantor PLUM ASSOCIATES, LLC |
| Tax Exempt No | Sale Price 2,307,000 |
| | Land Area 0.689 acres |
| | Type Commercial-General |

Current Property Assessment

| | | | |
|--------------|----------------------|------------------------|-----------------------|
| Card 1 Value | Land Value 1,200,000 | Building Value 581,700 | Total Value 1,781,700 |
|--------------|----------------------|------------------------|-----------------------|

Building Description

| | | |
|-----------------------------------|---------------------|---------------------|
| Building Style GEN. RETAIL | # of Living Units 0 | Flooring Type N/A |
| Year Built 1970 | Roof Structure N/A | Heating Type N/A |
| Building Grade Average | Roof Cover N/A | Heating Fuel N/A |
| Building Condition N/A | Siding Brick | Air Conditioning 0% |
| Above Grade Floor Area (SF) 5,075 | Interior Walls N/A | # of Fireplaces 0 |
| Total Floor Area (SF) 5,075 | # of Bedrooms 0 | # of Full Baths 0 |
| Number Rooms 0 | # of 1/2 Baths 0 | |

Utilites Information

| | |
|-------|--------|
| Water | Public |
| | Water |
| Sewer | Public |
| | Sewer |

Legal Description

EAST FAIRFAX PARK PT LT 1A-30000 SF 7245-1886

Narrative Description of Property

This property contains 0.689 acres of land mainly classified as with a(n) GEN. RETAIL style building, built about 1970 , having Brick exterior and N/A roof cover, with 0 commercial unit(s) and 0 residential unit(s), 0 room(s), 0 bedroom(s), 0 bath(s), 0 half bath(s).

Disclaimer/Privacy Policy

Under Virginia State law these records are public information. Display of this information on the internet is specifically authorized by Va. Code 58.1-3122.2 (1998). See the [Virginia State Code](#) to read the pertinent enabling statute. Owner names will be withheld from the Internet record upon request.

While the City of Fairfax has attempted to ensure that the data contained in this file and displayed on this site is accurate and reflects the property's characteristics, the City of Fairfax makes no warranties, express or implied, concerning the accuracy, completeness, reliability, or suitability of this data. The City of Fairfax does not assume any liability associated with the use or misuse of this data.

Unofficial Property Record Card - Fairfax, VA

General Property Data

| | |
|--------------------------------|---|
| Parcel ID 48 3 07 001 | Account Number 63050 |
| Property Owner SANOY, LLC | Property Location 3204 OLD PICKETT RD FAIRFAX |
| Mailing Address P O BOX 3804 | Property Use |
| City FAIRFAX | Most Recent Sale Date 3/26/2013 |
| Mailing State VA Zip 22038 | Legal Reference 23014-0732 |
| ParcelZoning Commercial Retail | Grantor WEISIGER FAIRFAX CIRCLE |
| Tax Exempt No | Sale Price 1,300,000 |
| | Land Area 0.397 acres |
| | Type Commercial-General |

Current Property Assessment

| | | | |
|--------------|--------------------|------------------------|-----------------------|
| Card 1 Value | Land Value 778,400 | Building Value 755,900 | Total Value 1,534,300 |
|--------------|--------------------|------------------------|-----------------------|

Building Description

| | | |
|-----------------------------------|---------------------|---------------------|
| Building Style GEN. RETAIL | # of Living Units 0 | Flooring Type N/A |
| Year Built 1974 | Roof Structure N/A | Heating Type N/A |
| Building Grade Average | Roof Cover N/A | Heating Fuel N/A |
| Building Condition N/A | Siding Brick | Air Conditioning 0% |
| Above Grade Floor Area (SF) 6,000 | Interior Walls N/A | # of Fireplaces 0 |
| Total Floor Area (SF) 6,000 | # of Bedrooms 0 | # of Full Baths 0 |
| Number Rooms 0 | # of 1/2 Baths 0 | |

Utilites Information

| | |
|-------|--------|
| Water | Public |
| | Water |
| Sewer | Public |
| | Sewer |

Legal Description

TANNERS,SMITHERS RUST PT LT 1 - 17298 SF 5734-770

Narrative Description of Property

This property contains 0.397 acres of land mainly classified as with a(n) GEN. RETAIL style building, built about 1974 , having Brick exterior and N/A roof cover, with 0 commercial unit(s) and 0 residential unit(s), 0 room(s), 0 bedroom(s), 0 bath(s), 0 half bath(s).

Disclaimer/Privacy Policy

Under Virginia State law these records are public information. Display of this information on the internet is specifically authorized by Va. Code 58.1-3122.2 (1998). See the [Virginia State Code](#) to read the pertinent enabling statute. Owner names will be withheld from the Internet record upon request.

While the City of Fairfax has attempted to ensure that the data contained in this file and displayed on this site is accurate and reflects the property's characteristics, the City of Fairfax makes no warranties, express or implied, concerning the accuracy, completeness, reliability, or suitability of this data. The City of Fairfax does not assume any liability associated with the use or misuse of this data.

Unofficial Property Record Card - Fairfax, VA

General Property Data

| | |
|-----------------------------------|---|
| Parcel ID 48 3 06 028 A | Account Number 702118 |
| Property Owner DEGEN-FAIRFAX, LLC | Property Location 9547 FAIRFAX BLVD FAIRFAX |
| Mailing Address 1716 HIGHLAND RD | Property Use |
| City FREDERICKSBURG | Most Recent Sale Date 6/10/2019 |
| Mailing State VA Zip 22401 | Legal Reference 25774-1308 |
| ParcelZoning Commercial General | Grantor DEGEN MICHAEL E |
| Tax Exempt No | Sale Price 0 |
| | Land Area 1.378 acres |
| | Type No Consideration |

Current Property Assessment

| | | | |
|--------------|----------------------|--------------------------|-----------------------|
| Card 1 Value | Land Value 2,701,600 | Building Value 1,896,400 | Total Value 4,598,000 |
|--------------|----------------------|--------------------------|-----------------------|

Building Description

| | | |
|------------------------------------|---------------------|---------------------|
| Building Style GEN. RETAIL | # of Living Units 0 | Flooring Type N/A |
| Year Built 2009 | Roof Structure N/A | Heating Type N/A |
| Building Grade Average | Roof Cover N/A | Heating Fuel N/A |
| Building Condition N/A | Siding Comb-Frame/S | Air Conditioning 0% |
| Above Grade Floor Area (SF) 18,176 | Interior Walls N/A | # of Fireplaces 0 |
| Total Floor Area (SF) 18,176 | # of Bedrooms 0 | # of Full Baths 0 |
| Number Rooms 0 | # of 1/2 Baths 0 | |

Utilites Information

| | |
|-------|--------------|
| Water | Public Water |
| Sewer | Public Sewer |

Legal Description

RUST & SMITHERS combined lots 15,16 28 -60,035 Sf 20179-1457

Narrative Description of Property

This property contains 1.378 acres of land mainly classified as with a(n) GEN. RETAIL style building, built about 2009 , having Comb-Frame/S exterior and N/A roof cover, with 0 commercial unit(s) and 0 residential unit(s), 0 room(s), 0 bedroom(s), 0 bath(s), 0 half bath(s).

Disclaimer/Privacy Policy

Under Virginia State law these records are public information. Display of this information on the internet is specifically authorized by Va. Code 58.1-3122.2 (1998). See the [Virginia State Code](#) to read the pertinent enabling statute. Owner names will be withheld from the Internet record upon request.

While the City of Fairfax has attempted to ensure that the data contained in this file and displayed on this site is accurate and reflects the property's characteristics, the City of Fairfax makes no warranties, express or implied, concerning the accuracy, completeness, reliability, or suitability of this data. The City of Fairfax does not assume any liability associated with the use or misuse of this data.

Unofficial Property Record Card - Fairfax, VA

General Property Data

| | |
|-----------------------------------|--|
| Parcel ID 48 3 08 002 B | Account Number 65358 |
| Property Owner RHEES FAIRFAX, LLC | Property Location 3250 OLD LEE HWY FAIRFAX |
| | Property Use |
| Mailing Address 7461 COCA COLA DR | Most Recent Sale Date 5/19/2011 |
| | Legal Reference 21679-0703 |
| City HANOVER | Grantor RHEE SYNG MAN & CHOON OK |
| Mailing State MD Zip 21076 | Sale Price 0 |
| ParcelZoning Commercial Retail | Land Area 1.377 acres |
| Tax Exempt No | Type Does Not Appear Valid |

Current Property Assessment

| | | | |
|--------------|----------------------|--------------------------|-----------------------|
| Card 1 Value | Land Value 2,700,000 | Building Value 1,798,600 | Total Value 4,498,600 |
|--------------|----------------------|--------------------------|-----------------------|

Building Description

| | | |
|------------------------------------|---------------------|---------------------|
| Building Style GEN. RETAIL | # of Living Units 0 | Flooring Type N/A |
| Year Built 1966 | Roof Structure N/A | Heating Type N/A |
| Building Grade Average | Roof Cover N/A | Heating Fuel N/A |
| Building Condition N/A | Siding Stucco/Alum | Air Conditioning 0% |
| Above Grade Floor Area (SF) 39,819 | Interior Walls N/A | # of Fireplaces 0 |
| Total Floor Area (SF) 39,819 | # of Bedrooms 0 | # of Full Baths 0 |
| Number Rooms 0 | # of 1/2 Baths 0 | |

Utilites Information

| | |
|-------|--------|
| Water | Public |
| | Water |
| Sewer | Public |
| | Sewer |

Legal Description

EAST FAIRFAX PARK PT SWEENEY PROP-60000 SF 7774-1913

Narrative Description of Property

This property contains 1.377 acres of land mainly classified as with a(n) GEN. RETAIL style building, built about 1966 , having Stucco/Alum exterior and N/A roof cover, with 0 commercial unit(s) and 0 residential unit(s), 0 room(s), 0 bedroom(s), 0 bath(s), 0 half bath(s).

Disclaimer/Privacy Policy

Under Virginia State law these records are public information. Display of this information on the internet is specifically authorized by Va. Code 58.1-3122.2 (1998). See the [Virginia State Code](#) to read the pertinent enabling statute. Owner names will be withheld from the Internet record upon request.

While the City of Fairfax has attempted to ensure that the data contained in this file and displayed on this site is accurate and reflects the property's characteristics, the City of Fairfax makes no warranties, express or implied, concerning the accuracy, completeness, reliability, or suitability of this data. The City of Fairfax does not assume any liability associated with the use or misuse of this data.

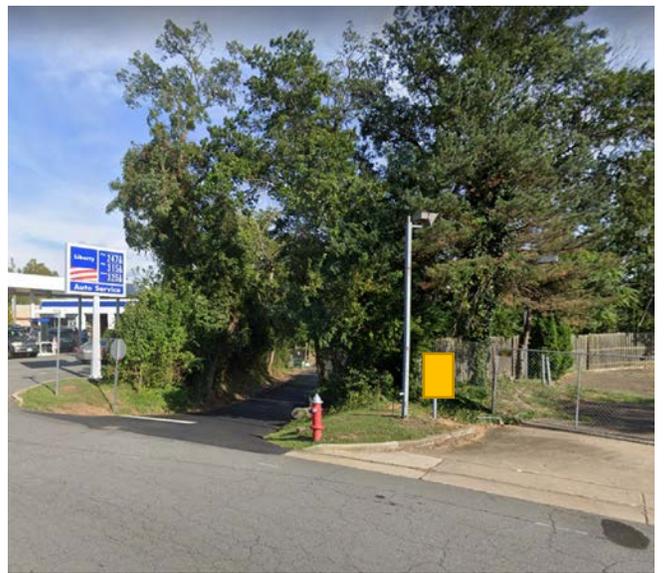
Posted Notice Placement Instructions

SE-19-00769 and BAR-19-00789

9571 Fairfax Boulevard



Sign 1



Sign 2



AFFIDAVIT FOR POSTED NOTICE (SIGN)

I, Jeffrey J. Stuchel hereby affirm that I have received, read, understand and
Applicant/Agent Name
agree to abide by the 'Posted Notice Instructions to the Applicant' and location map depicting sign
placement given to me on May 7, 2020 as required by City Code, Chapter 110, Article
6.2.5.B.3. Date

The subject property will be posted visibly and securely with 2 signs, from Friday, May 15, 2020 to
Wednesday, May 27, 2020, including the date of the public hearing as given on the sign(s).

Notices will not be placed on trees, utility poles, or traffic control signs or elsewhere in the public right-
of-way. All posted notices will be removed no later than Friday, June 5, 2020.

A photo confirmation of the "Posted Notice" (sign) placement will be provided to the Zoning Office
on date of placement.

Jeffrey J. Stuchel
Applicant/Agent Signature



5/14/2020
Date

APPLICANT/AGENT MUST SIGN AND HAVE THEIR SIGNATURES NOTARIZED

The above affidavit was subscribed and confirmed by oath or affirmation before me on this 14th
day of May, 2020, in the State of Virginia.

My commission expires June 30, 2023.

Lynda Stuchel # 7502187
Notary Public/Registration No.

OFFICE USE ONLY

Receipt # _____ Date Paid _____ Fee Paid _____
Associated Case # _____ Staff Initials _____

9571 Fairfax Boulevard

SE-19-00769, BAR-10-00789

Posed Notice Photos

Hearing Date 5/26/20

Posted by the applicant 5/13/20



Location 1



Location 2

SAMPLE MOTIONS

- a. Attachment 7A – Motion A: Special Exceptions Approval
- b. Attachment 7B – Motion B: Special Exceptions Denial
- c. Attachment 7C – Motion A: Certificate of Appropriateness Approval
- d. Attachment 7D – Motion B: Certificate of Appropriateness Denial

MOTION – A

Special Exception (SE-19-00769)

**APPROVAL
(Recommended by Staff)**

I MOVE THAT THE CITY COUNCIL ADOPT THE ATTACHED RESOLUTION TO APPROVE THE REQUEST OF 9571 FAIRFAX BLVD LLC, APPLICANT, BY STUART D. SCHOOLER, AGENT, FOR SIX SPECIAL EXCEPTIONS PURSUANT TO CITY CODE SECTION 110-6.17 TO MODIFY THE MINIMUM FRONT/STREET SIDE YARD SETBACK AS REQUIRED BY SECTION 110-3.6, TO MODIFY THE MINIMUM INTERIOR SIDE YARD SETBACK AS REQUIRED BY SECTION 110-3.6, TO PROVIDE RELIEF FROM THE REQUIREMENT TO PROVIDE A SIDEWALK ALONG A STREET CONTAINED IN SECTION 110-4.4.4, TO MODIFY THE LANDSCAPE STRIP AND STREET TREE REQUIREMENTS OF SECTION 110-4.5.6, TO MODIFY THE PARKING LOT LANDSCAPE ISLAND MINIMUM SIZE AND SPACING REQUIREMENTS OF SECTION 110-4.5.7, AND TO MODIFY THE MINIMUM NUMBER OF PARKING SPACES AS REQUIRED BY SECTION 110-4.2.3 ON THE PREMISES KNOWN AS 9571 FAIRFAX BOULEVARD AND MORE PARTICULARLY DESCRIBED AS TAX MAP PARCEL 48-3-06-041, WITH THE FOLLOWING CONDITIONS:

1. The applicant shall remove the existing streetlights along Fairfax Boulevard, and shall install new LED cutoff acorn street lights along the Fairfax Boulevard frontage of the application property. The specific number and location of new street lights shall be determined at the time of site plan in coordination with the Department of Public Works.
2. Development shall be in conformance with Special Exception Plans dated April 17, 2020.

MOTION – B

Special Exception (SE-19-00769)

DENIAL

I MOVE THAT THE CITY COUNCIL DENY THE REQUEST OF 9571 FAIRFAX BLVD LLC, APPLICANT, BY STUART D. SCHOOLER, AGENT, FOR SIX SPECIAL EXCEPTIONS PURSUANT TO CITY CODE SECTION 110-6.17 TO MODIFY THE MINIMUM FRONT/STREET SIDE YARD SETBACK AS REQUIRED BY SECTION 110-3.6, TO MODIFY THE MINIMUM INTERIOR SIDE YARD SETBACK AS REQUIRED BY SECTION 110-3.6, TO PROVIDE RELIEF FROM THE REQUIREMENT TO PROVIDE A SIDEWALK ALONG A STREET CONTAINED IN SECTION 110-4.4.4, TO MODIFY THE LANDSCAPE STRIP AND STREET TREE REQUIREMENTS OF SECTION 110-4.5.6, TO MODIFY THE PARKING LOT LANDSCAPE ISLAND MINIMUM SIZE AND SPACING REQUIREMENTS OF SECTION 110-4.5.7, AND TO MODIFY THE MINIMUM NUMBER OF PARKING SPACES AS REQUIRED BY SECTION 110-4.2.3 ON THE PREMISES KNOWN AS 9571 FAIRFAX BOULEVARD AND MORE PARTICULARLY DESCRIBED AS TAX MAP PARCEL 48-3-06-041.

[CITY COUNCIL TO PROVIDE REASON(S)]

MOTION – A

CERTIFICATE OF APPROPRIATENESS (BAR-19-00789)

APPROVAL

(Recommended by Staff)

I MOVE THAT THE CITY COUNCIL APPROVE THE REQUEST OF 9571 FAIRFAX BOULEVARD LLC FOR A MAJOR CERTIFICATE OF APPROPRIATENESS, IN ACCORDANCE WITH SECTION 110-6.5.6.B OF THE CITY CODE, FOR A NEW COMMERCIAL BUILDING AND SITE IMPROVEMENTS ON THE PREMISES KNOWN AS 9571 FAIRFAX BOULEVARD AND MORE PARTICULARLY DESCRIBED AS TAX MAP PARCEL 48-3-06-041, SUBJECT TO THE FOLLOWING CONDITIONS (AS MAY BE AMENDED BY CITY COUNCIL):

1. Downspouts shall be located in the building reveals and painted “Charcoal” by Sherwin Williams. All other building-mounted appurtenances shall be painted to match adjacent wall surfaces.
 2. The fluted form liners of the retaining wall shall be painted a color to match the split-face CMU material of the lower level of the building, which shall be reviewed and approved by planning staff.
 3. Construction planning shall meet the requirements needed to support Option 1 in the planning stages, Option 1 being a rooftop restaurant, should that option be requested in the future, and not part of the original request.
 4. The applicant shall receive a minor certificate of appropriateness for any outdoor furniture not reviewed as part of this application.
 5. The proposed modifications shall be in general conformance with the review materials received by staff and included in the staff report, as modified through the date of this meeting, except as further modified by the Board of Architectural Review, the Director of Community Development and Planning, Zoning, or the Building Official.
-

MOTION – B

CERTIFICATE OF APPROPRIATENESS (BAR-19-00789)

DENIAL

I MOVE THAT THE CITY COUNCIL DENY THE REQUEST OF 9571 FAIRFAX BOULEVARD LLC FOR A MAJOR CERTIFICATE OF APPROPRIATENESS, IN ACCORDANCE WITH SECTION 110-6.5.6.B OF THE CITY CODE, FOR A NEW COMMERCIAL BUILDING AND SITE IMPROVEMENTS ON THE PREMISES KNOWN AS 9571 FAIRFAX BOULEVARD AND MORE PARTICULARLY DESCRIBED AS TAX MAP PARCEL 48-3-06-041, FOR THE FOLLOWING REASON(S):

[City Council should choose one or more of the following as appropriate:]

1. The proposal is not consistent with the applicable provisions of the City Code or the City of Fairfax Design Guidelines.
2. The proposal does not exhibit a combination of architectural elements, including design, line, mass, dimension, color, material, texture, lighting, landscaping, roof line, or height conforming to accepted architectural principles or exhibit external characteristics of demonstrated architectural aesthetic durability.

City Council
City of Fairfax

RESOLUTION 2020 - _____
APPROVAL

RESOLUTION TO APPROVE THE REQUEST OF 9571 FAIRFAX BOULEVARD LLC, BY STUART D. SCHOOLER, AGENT, FOR SIX SPECIAL EXCEPTIONS PURSUANT TO CITY CODE SECTION 110-6.17, TO:

- MODIFY THE MINIMUM FRONT/STREET SIDE YARD SETBACK AS REQUIRED BY SECTION 110-3.6;
- MODIFY THE MINIMUM INTERIOR SIDE YARD SETBACK AS REQUIRED BY SECTION 110-3.6;
- PROVIDE RELIEF FROM THE REQUIREMENT TO PROVIDE A SIDEWALK ALONG A STREET CONTAINED IN SECTION 110-4.4.4;
- MODIFY THE LANDSCAPE STRIP AND STREET TREE REQUIREMENTS OF SECTION 110-4.5.6;
- MODIFY THE PARKING LOT LANDSCAPE ISLAND MINIMUM SIZE AND SPACING REQUIREMENTS OF SECTION 110-4.5.7; AND
- MODIFY THE MINIMUM NUMBER OF PARKING SPACES AS REQUIRED BY SECTION 110-4.2.3

ON THE PROPERTY IDENTIFIED AS CITY OF FAIRFAX TAX MAP PARCEL 48-3-06-041.

WHEREAS, 9571 Fairfax Boulevard LLC, by Stuart D. Schooler, agent, has submitted Application No. SE-19-00769 requesting Special Exceptions to the City Code as listed above; and

WHEREAS, City Council has carefully considered the application, the recommendation from Staff, and testimony received at the public hearing; and

WHEREAS, City Council has determined that the proposed Special Exceptions are appropriate because the proposal meets the requisites established by City of Fairfax Code Section 110-6.17 for the following reasons:

1. The proposal ensures the same general level of land use compatibility as the otherwise applicable standards;
2. The proposal does not materially and adversely affect adjacent land uses and the physical character of uses in the immediate vicinity of the proposed development because of inadequate transitioning, screening, setbacks and other land use considerations;
3. The proposal is generally consistent with the purposes and intent of the city code and the comprehensive plan;
4. The proposal is based on the physical constraints and land use specifics, rather than on economic hardship of the applicant.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Fairfax on this 26TH day of May, 2020, that Application No. SE-19-00769 is hereby APPROVED, as requested, with the following conditions:

1. The applicant shall remove the existing streetlights along Fairfax Boulevard, and shall install new LED cutoff acorn street lights along the Fairfax Boulevard frontage of the application property. The specific number and location of new street lights shall be determined at the time of site plan in coordination with the Department of Public Works.
2. Development shall be in conformance with Special Exception Plans dated April 17, 2020.

The motion to adopt the resolution was approved ____.

Mayor

Date

Votes

| | |
|-----------------------|-------|
| Councilmember DeMarco | _____ |
| Councilmember Lim | _____ |
| Councilmember Miller | _____ |
| Councilmember Passey | _____ |
| Councilmember Stehle | _____ |
| Councilmember Yi | _____ |

City Council
City of Fairfax

RESOLUTION 2020 - _____
DENIAL

RESOLUTION TO DENY THE REQUEST OF 9571 FAIRFAX BOULEVARD LLC, BY STUART D. SCHOOLER, AGENT, FOR SIX SPECIAL EXCEPTIONS PURSUANT TO CITY CODE SECTION 110-6.17, TO:

- MODIFY THE MINIMUM FRONT/STREET SIDE YARD SETBACK AS REQUIRED BY SECTION 110-3.6;
- MODIFY THE MINIMUM INTERIOR SIDE YARD SETBACK AS REQUIRED BY SECTION 110-3.6;
- PROVIDE RELIEF FROM THE REQUIREMENT TO PROVIDE A SIDEWALK ALONG A STREET CONTAINED IN SECTION 110-4.4.4;
- MODIFY THE LANDSCAPE STRIP AND STREET TREE REQUIREMENTS OF SECTION 110-4.5.6;
- MODIFY THE PARKING LOT LANDSCAPE ISLAND MINIMUM SIZE AND SPACING REQUIREMENTS OF SECTION 110-4.5.7; AND
- MODIFY THE MINIMUM NUMBER OF PARKING SPACES AS REQUIRED BY SECTION 110-4.2.3

ON THE PROPERTY IDENTIFIED AS CITY OF FAIRFAX TAX MAP PARCEL 48-3-06-041.

WHEREAS, 9571 Fairfax Boulevard LLC, by Stuart D. Schooler, agent, has submitted Application No. SE-19-00769 requesting Special Exceptions to the City Code as listed above; and

WHEREAS, City Council has carefully considered the application, the recommendation from Staff and testimony received at the public hearing; and

WHEREAS, City Council has determined that the proposed Special Exceptions are not appropriate because the proposal does not meet the requisites established by City of Fairfax Code Section 110-6.17 for the following reasons:

[City Council should choose one or more of the following as appropriate:]

1. The proposal does not ensure the same general level of land use compatibility as the otherwise applicable standards;
2. The proposal materially and adversely affects adjacent land uses and the physical character of uses in the immediate vicinity of the proposed development because of inadequate transitioning, screening, setbacks and other land use considerations;
3. The proposal is not consistent with the purposes and intent of the city code and the comprehensive plan;

4. The proposal is not based on the physical constraints and land use specifics, rather than on economic hardship of the applicant.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Fairfax on this 26TH day of May, 2020, that Application No. SE-19-00769 is hereby DENIED.

The motion to adopt the resolution was denied _____.

Mayor

Date

Votes

| | |
|-----------------------|-------|
| Councilmember DeMarco | _____ |
| Councilmember Lim | _____ |
| Councilmember Miller | _____ |
| Councilmember Passey | _____ |
| Councilmember Stehle | _____ |
| Councilmember Yi | _____ |